



REVIEW OF ENVIRONMENTAL FACTORS

Minor alterations or additions

Aspect, WESTERN SYDNEY

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Project Revision History:

Date	Author	Rev. No.	Scope of Revision
21/04/23	L Popowitz	A	Draft for Internal Review
26/04/23	A Cropley	A	Finalised and Issued to Client

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1. INTRODUCTION

1.1. Overview

This Review of Environmental Factors (REF) has been prepared by EPM Projects for Autism Spectrum Australia (Aspect) and assesses the proposed minor internal alterations and additions to the administration building at the Aspect Western Sydney campus at 295 Victoria Street, Wetherill Park (the site).

This REF for minor internal alterations and additions, including structural alterations to the administration building has been prepared in accordance with the relevant provisions of the *Environmental Planning and Assessment Act 1979* (EP&A Act), the *Environmental Planning and Assessment Regulation 2021* (EP&A Regulation) and *State Environmental Planning Policy (Transport and Infrastructure) 2021* (T&I SEPP).

The proposed development is 'development permitted without consent' under the provisions of the T&I SEPP and given the likely minimal environmental impacts of the work, the works are classified as 'minor alterations or additions, such as internal fitouts' pursuant to s. 3.37(1)(b)(i) of the T&I SEPP. This REF has been prepared in accordance with the Department of Planning and Environment's *Guidelines for Division 5.1 Assessments, June 2022* (the Guidelines) and the *NSW Code of Practice for Part 5 activities for Registered Non-Government Schools, August 2017*.

On the basis of the assessment contained within this REF, it is concluded that by adopting the mitigation measures identified at **Section 6**, the works will not result in unacceptable environmental impacts.

1.2. School Information

Detail	Description
School Name	Aspect Western Sydney School
School Address	295 Victoria Street, Wetherill Park
Lot(s) and DP(s)	Lot 8 DP 230076
Local Government Area	Fairfield City Council
Location of Proposed Works	Administration building
Land Owner	Autism Spectrum Australia
Easements and Covenants	1. Reservations and conditions in the Crown Grant(s) 2. Z9565 Lease to autistic association of New South Wales. Expires 1.10.2088

1.3. Scope of Works and Assessment Requirements

Detail	Description
What are the proposed works?	Minor internal structural alterations and additions to the existing administration building. The works will not result in any additional gross floor area.
Does the project involve works outside the Aspect campus?	No – the proposed works are within the existing school boundary.
Will the project facilitate any increase in student numbers?	No
Assessment of Class of Activity	Minor activity

1.4. Certification

This REF provides a true and fair review of the Proposal in relation to its potential effects on the environment. It addresses to the fullest extent possible, all matters affecting or likely to affect the environment as a result of the Proposal. The information contained in this REF is neither false nor misleading.

Person who prepared the REF:	Louise Popowitz
Position and Qualifications:	Planner <i>BSc Natural Resources – Nature Management KU</i> <i>M. Urban Planning & Environment RMIT</i>
Person who reviewed the REF:	Amy Cropley
Position and Qualifications:	Associate Planner <i>M. Urban Design (Urban Design and Planning)</i> <i>USyd</i> <i>MPIA</i>

Signature:



Date: 26 April 2023

I have examined this REF and the Certification and accept the REF on behalf Autism Spectrum Australia (Aspect).

Name of Aspect Reviewing Officer:	Abhinav Khanna
Position:	Senior Project Manager

Signature:



Date: 03 May 2023

I accept this REF on behalf of Autism Spectrum Australia (Aspect), as a public authority and determine that the Proposal can proceed subject to the mitigation measures in Section 6 being implemented before the carrying out of works and occupation of the facilities).

Name of Aspect Delegated Officer:	Carmen Izurieta
Designation:	Chief Operating Officer

Signature:

DocuSigned by:
Carmen Izurieta
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Date: 4/5/2023 | 3:11 PM AEST

1.5. Architectural Plans

Drawing Name	Drawing No.	Issue	Date
Cover Sheet & Drawing Register	AR-001	6	17/04/2023
General Notes	AR-002	1	02/03/2023
Site Plan	AR-100	2	02/03/2023
Demolition Plan – Admin Building Level	AR-111	2	22/03/2023
General Layout – Admin Building Level Plan	AR-202	4	17/04/2023
FF&E – Level 1 Plan	AR-221	3	17/04/2023
General Ceiling -RCP Plans	AR-401	2	17/04/2023
Wall Types	AR-701	1	02/03/2023
Administration – Plan – Interior Details	AR-1005	4	17/04/2023
Joinery Details – Kitchen – JK-01 & Admin J-05 & JB-03	AR-1213	1	02/03/2023
Door Schedule	AR-1300	3	17/04/2023

Architectural Plans prepared by DesignInc (**Appendix A**).

1.6. Site Information

The Aspect Western Sydney campus is located on a single allotment at 295 Victoria Street, Wetherill Park and is legally known as Lot 8/DP230076. A Certificate of Title and Deposited Plan for the allotment subject to the proposed works are included at **Appendix B**.

Aspect Western Sydney comprises learning spaces, COLA, administrative spaces, landscaping, shade structures and carparking. The proposed works would be contained within the administration building on the site as shown in **Figure 1** and **Figure 2**.

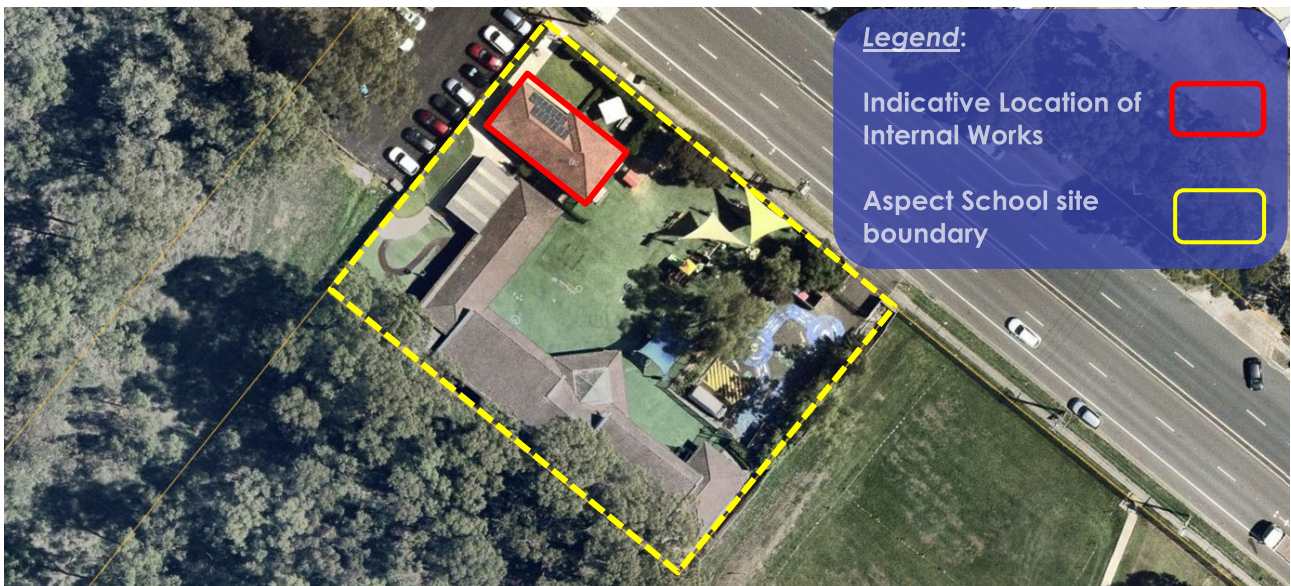


Figure 1: Aerial photograph of site indicating location of proposed works (in red)

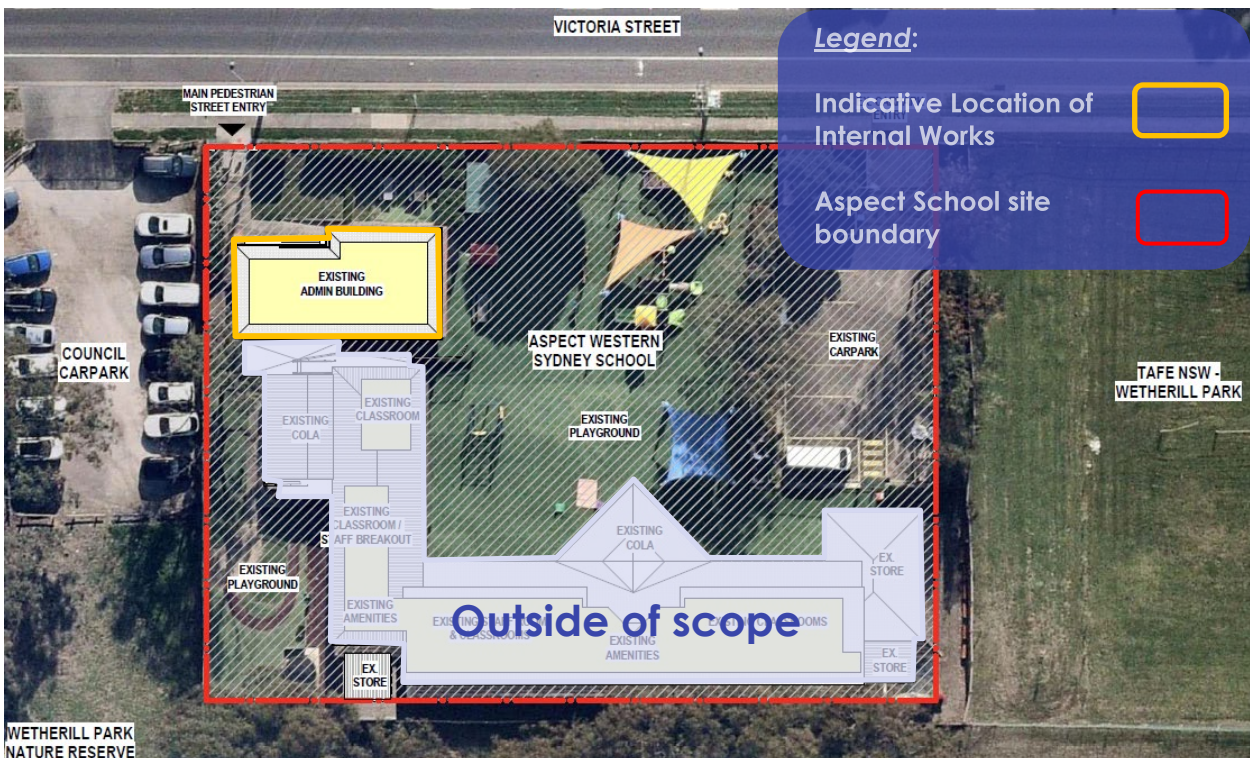


Figure 2: Extract of Site plan with proposed works marked in orange (source: DesignInc)

The site is located on 295 Victoria Street with direct vehicle and pedestrian access to the southern side of Victoria Street. The site adjoins Wetherill Park Nature Reserve to the west and Wetherill Park TAFE College to the southern and eastern boundary.

Photographs of the existing administration building are included as part of the Architectural Plans (**Appendix A**) and are provided at **Figure 3** and **Figure 4** for context.



Figure 3: View of entrance to administration building, facing east along the northern boundary



Figure 4: View of administration building, facing south-east from neighbouring carpark.

2. PROPOSED WORKS

2.1. Justification of Proposal

Aspect Western Sydney is proposing minor internal structural alterations and additions to the existing administration building.

Minor alterations or additions, such as internal fitouts within the boundaries of the existing school are permitted without development consent pursuant to s. 3.37(1)(b)(i) of the T&I SEPP.

2.2. Definition of Proposed Works

The proposed works are defined as 'development permitted without consent' pursuant to the provisions of the T&I SEPP. For the purposes of Part 5 of the EP&A Act, the proposal is defined as 'works' or an 'activity'. Any reference to 'development', 'works' or an 'activity' is considered to have the same meaning for the purposes of this assessment.

2.3. Summary of Proposed Works

Architectural Plans have been prepared by DesignInc (**Appendix A**). The proposed works shown in (**Figure 5** and **6**) include:

Administration Building

- Demolition of internal walls and doorways, including structural works
- Replacement of floor finishes and skirtings
- Replacement of plasterboard ceiling, fitting and fixtures

The works are proposed to be carried out as development without consent pursuant to the provisions of the T&I SEPP. Accordingly, an assessment of the proposal against the relevant provisions of the T&I SEPP is provided in the following table:

T&I SEPP – Relevant Provisions	Assessment	Complies
Part 3.2 General Division 1		
3.8 Consultation with Councils – development with impacts on council-related infrastructure or services	The works will not involve impacts on council-related infrastructure or services and therefore consultation is not required under this clause.	Yes
3.9 Consultation with Councils – Development with impacts on local heritage.	There are no heritage items located on the site or within close proximity to the site. Therefore, notification of Fairfield City Council is not required under this clause.	Yes
3.10 Notification of Councils and State Emergency Service – Development on Flood Liable Land	The land is not identified as being flood liable land. Therefore, notification of Fairfield City Council and the SES is not required under this clause.	Yes
3.11 Consideration of Planning for Bush Fire Protection	The land is mapped as comprising bushfire prone land. Consideration has been given to PBFP with a statement from BFCs (Appendix C) confirming that “there are no bushfire requirements for internal works”.	Yes
3.12 Consultation with public authorities other than Councils	The works will not trigger the requirement for consultation with any prescribed public authorities under this clause.	Yes
Part 3.4 Schools – specific development controls		
3.37(1) Development for any of the following purposes may be carried out by or on behalf of a public authority without development consent on land within the boundaries of an existing or approved school —	The works are being carried out within the boundaries of an existing educational establishment being the Aspect Western Sydney School establishment.	Yes
(b) minor alterations or additions, such as — (i) internal fitouts, or	The proposed works comprising the removal of internal walls and doors within the existing administration qualify as minor internal fitouts.	Yes
(2) Subsection (1) applies only if the development does not require an alteration of traffic arrangements, for example, a new vehicular access point to the school or a change in location of an existing vehicular access point to the school.	The proposed works will not require an alteration of traffic arrangements.	Yes
(3) Subsection (1)(a) applies only if the development does not result in a prohibited increase in student or staff numbers.	The proposed works are being undertaken pursuant to section 3.37(1)(b)(i) and therefore, this subsection doesn't apply to the development. Nevertheless, the works do not result in any increase in student or staff numbers.	Yes

T&I SEPP – Relevant Provisions	Assessment	Complies
(4) <i>Nothing in this section authorises the carrying out of development in contravention of any existing condition of the development consent currently operating (other than a complying development certificate) that applies to any part of the school, relating to hours of operation, noise, car parking, vehicular movement, traffic generation, loading, waste management, landscaping or student or staff numbers.</i>	The works to the administration building are internal only and therefore will not result in any contravention of any conditions currently operating on the site in relation to hours of operation, noise, car parking, vehicular movement, traffic generation, loading, waste management and landscaping. The works do not seek to increase staff or student numbers.	Yes
(5) <i>A reference in this section to development for a purpose referred to in subsection (1)(a), (b) or (c) includes a reference to development for the purpose of construction works in connection with the purpose referred to in subsection (1)(a), (b) or (c).</i>	N/A	N/A
(6) <i>This section does not apply to development for the purposes of campus student accommodation.</i>	The works are not for the purposes of campus student accommodation.	N/A

3.1. Development Control Plans

Fairfield City Development Control Plan 2013 (DCP) provides a broad range of development and precinct planning controls. There are no controls specifically for educational establishments, although general controls apply to all development, including bushfire.

It is noted that assessment against the Fairfield City DCP is not a mandatory consideration as the T&I SEPP is the relevant planning instrument for the proposed works and development without consent is not subject to local planning controls.

Notwithstanding, the works are generally consistent with the relevant parts of Fairfield City DCP.

3.2. Additional Relevant Legislation

Section 6.28 of the EP&A Act applies to the works as they are being carried out on behalf of a public authority and requires that the works do not commence unless it is certified to “comply with the Building Code of Australia”. A BCA Assessment Letter has been prepared by MBC (**Appendix D**) which confirms that subject to the adoption of the recommendations, the proposal will meet the applicable requirements of the Building Code of Australia.

The following legislation is applicable to the works proposed at Aspect Western Sydney. The works are not inconsistent with the relevant provisions of the following legislation (where applicable):

- NSW Legislation:
 - *Local Government Act 1993*
 - *Work Health and Safety Act 2011*
 - *Work Health Safety Regulation 2017*
 - *Biodiversity Conservation Act 2016*
 - *Waste Avoidance and Resource Recovery Act 2011*
 - *Australian Standard AS 2061-1991 – Demolition of Structures*
- Commonwealth Legislation:

- o *Environment Protection and Biodiversity Conservation Act 1999*
- o *Disability Discrimination Act 1992*

3.3. Consultation and Notification

Pursuant to the assessment carried out in **Section 3.1**, the proposed works is internal alterations and additions and has been assessed against the consultation and notification requirements of the T&I SEPP. The works do not trigger any of these requirements and therefore the proposal is not subject to any consultation or notification requirements prior to being carried out.

4. ENVIRONMENTAL IMPACT ASSESSMENT

This section of the REF will carry out an environmental impact assessment of the proposed works, applying an assessment methodology of considering the potential for environmental risk arising from the site constraints, identifying potential risks associated with the carrying out of the proposed works, and identifying mitigation procedures and control measures appropriate to respond to these risks.

An assessment of the works against the factors which must be taken into account when assessing the impact of an activity on the environment pursuant to Section 171 of the EP&A Regulation is then provided in the following section.

4.1. Site Constraints

The assessment carried out under this REF has considered a range of potential constraints for the site, including matters relating to bushfire, heritage, contamination, flooding, threatened species, Aboriginal cultural significance, acid sulfate soils, land slip, and other matters.

The primary site constraints relevant to this assessment is in relation to bushfire risk, and biodiversity, which is discussed below.

Bushfire

The site is partially mapped as Vegetation Buffer on Council's Bush Fire Prone Land map, (**Figure 7**).

Section 100B of the *Rural Fires Act 1997* (RF Act) provides that schools are development for a special fire protection purpose (SFPP) and as such, school development within bushfire prone land requires a Bushfire Safety Authority (BFSA). The Aspect Western Sydney School is mapped as partially bushfire prone land - vegetation Buffer.

Section 6.5 Minor development in SFPP facilities in the RFS publication *Planning for Bushfire Protection 2019* sets out a list of works that are not considered to have any influence on potential bushfire impacts or the bush fire protection of the building and therefore do not require a BFSA. These works include internal works and minor non-structural building alterations (external).

This is confirmed again under Clause 46 of the *Rural Fires Regulation 2022*, where "development excluded from requirements for bush fire safety authority" includes "development of a minor nature that relates to an existing building that is for a special fire protection purpose. Advice from BCS has confirmed that there are no bushfire requirements for internal works (**Appendix C**).

Accordingly, the works have been considered with regard to the bushfire affectation of the site and a BFSA is not required under the RF Act.

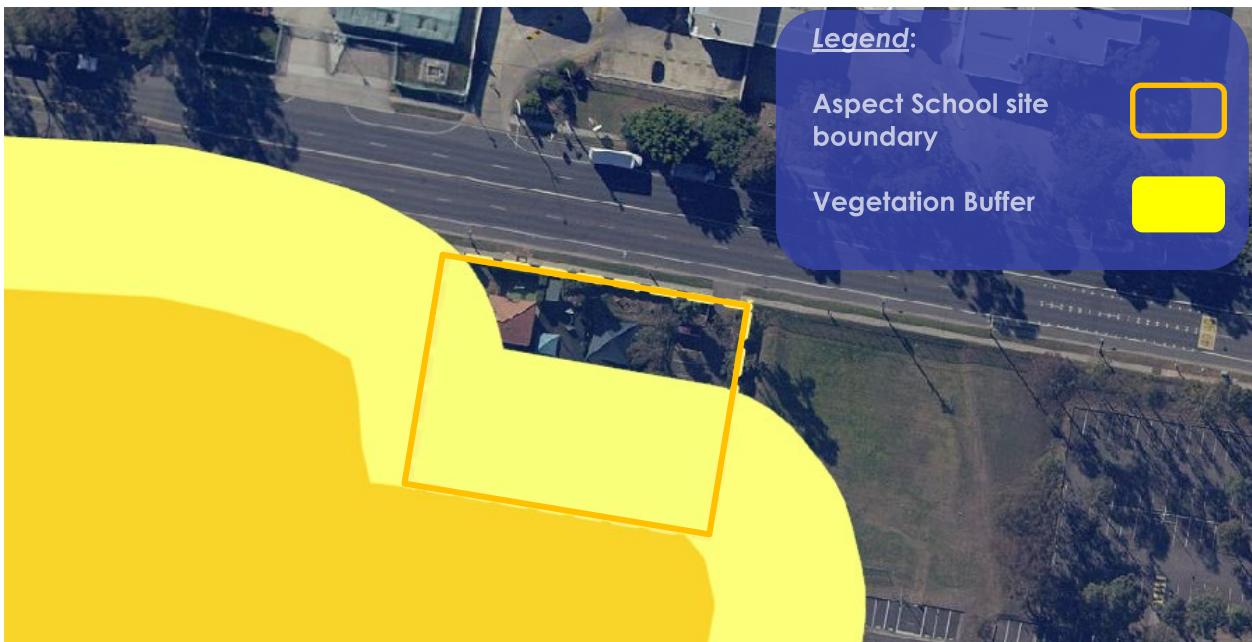


Figure 7: Bushfire Prone Land Map (Source: ePlanning Spatial Viewer)

Biodiversity

The site is partially mapped as containing NSW Biodiversity Values (Figure 8) as well as Terrestrial Biodiversity (Figure 9). As the works comprise internal alterations, this matter requires no further consideration.



Figure 8: Extract of NSW Biodiversity Values Mapping (Source: ePlanning Spatial Viewer)



Figure 9: Terrestrial Biodiversity Land Map (Source: ePlanning Spatial Viewer)

4.2. Environmental Risk

As the works are minor and contained within the existing educational establishment site boundaries, the only environmental risk relevant to the carrying out of the works is in the handling of demolition and construction waste (refer to Waste Management Plan **Appendix E**). Mitigation measures are included to ensure waste is handled such that it is not an element of environmental risk.

A Hazardous Materials Survey has been prepared (**Appendix H**) to identify if there is any asbestos, asbestos containing materials (ACM) or other hazardous building materials within the existing building. The survey has identified the likely presence of Asbestos within the electrical backing board, of the Administration Building.

Contaminated materials or substances are to be managed in accordance with the relevant legislation, regulations, codes of practice and guidelines, including work and health safety legislation and regulations include SafeWork NSW Codes of Practice and NSW Environment Protection Authority (EPA) requirements.

4.3. Staff and Student Safety

During the works, staff and students may continue to attend the campus during school terms. A Construction Management Plan (CMP) will need to be prior to works commencing to provide a suitable work zone during the demolition and construction. The CMP should include the establishment of hoardings and other measures to protect staff and students. No access to the demolition and construction works zones will be permitted for staff or students.

4.4. Cumulative Impacts

Under the Guidelines, the following definition of 'cumulative impacts' is provided:

Impacts that are a result of incremental, sustained and combined effects of human action and natural variations over time, both positive and negative, or by the compounding effects of a single project or multiple projects in an area, and by the accumulation of effects from past, current and relevant future projects. Refer to definition for 'relevant future projects' to understand scope of projects to be included.

Relevant future projects are defined under the Guidelines as:

The following types of development are 'relevant future projects':

- *Other State significant development and State significant infrastructure project*
- *projects classified as designated development and require an EIS*
- *projects that require assessment under Division 5.1 of the EP&A Act that are likely to significantly affect the environment and require an EIS*
- *projects that have been declared to be controlled actions under the EPBC Act*
- *any major greenfield and urban renewal developments that are scheduled for the area (e.g. new areas zoned for urban development).*

These types of projects are generally large in scale and could potentially contribute to or compound material impacts. They are also generally publicly notified and should therefore be known or reasonably foreseeable.

The proposed works are internal and small in scale and therefore, it is considered that the proposed development is unlikely to have an adverse cumulative impact on the Wetherill Park locality.

4.5. Section 171 Considerations

Section 171 of the EP&A Regulation details factors that must be taken into account when assessing the impact of an activity on the environment. The table below provides an assessment of these considerations.

**EC2255 – Aspect, Western Sydney
Minor Alterations and Additions – Administration Building**

Section 171 Review of Environmental Factors	Assessment	Mitigation Required
Any environmental impacts on a community?	The minor internal alterations and additions will not result in any environmental impacts on the community.	Nil
Any transformation of a locality?	The minor internal alterations and additions will not result in any transformation of a locality, they are limited to the administration building on an existing school site.	Nil
Any environmental impact on the ecosystems of the locality?	The proposed minor works will not result in any environmental impacts on the ecosystems of the locality. No tree removal is proposed/required.	Nil
Any reduction of the aesthetic, recreational, scientific or other environmental quality or value of a locality?	The proposed alterations and additions are limited to internal works within the administration building and will not reduce aesthetic, recreational, scientific or other environmental quality or value of the locality.	Nil
Any effect on a locality, place or building having aesthetic, anthropological, archaeological, architectural, cultural, historical, scientific or social significance or other special value for present or future generations?	As the proposed works are all internal and within the existing School site, it will not result in any such effects on a locality, place or building.	Nil
Any impact on the habitat of any protected animals (within the meaning of the <i>Biodiversity Conservation Act 2016</i>)?	The internal alterations and addition works will not result in any impact on the habitat of any protected animals.	Nil
Any endangering of any species of animal, plant or other form of life, whether living on land, in water or in the air?	The internal alterations and addition works will not endanger any species of animal, plant or other form of life.	Nil
Any long-term effects on the environment?	The proposed internal alterations and addition works will not result in any long-term effects on the environment.	Nil
Any degradation of the quality of the environment?	The proposed internal alterations and addition works will not result in degradation of the quality of the environment.	Nil
Any risk to the safety of the environment?	Student and staff safety will need to be managed throughout the works, through the separation of work zone /sites and access control. Appropriate site fencing / hoardings will prevent unauthorised access to construction work areas.	Mitigation Measure included for Site Safety and Construction Management

**EC2255 – Aspect, Western Sydney
Minor Alterations and Additions – Administration Building**

Section 171 Review of Environmental Factors	Assessment	Mitigation Required
Any reduction in the range of beneficial uses of the environment?	The internal alterations and addition work to the administration building will not result in the reduction in the range of beneficial uses of the environment.	Nil
Any pollution of the environment?	The internal alterations and addition work will not result in the pollution of the environment.	Nil
Any environmental problems associated with the disposal of waste?	<p>The proposed works include demolition of internal wall and will generate a small amount of waste. Where possible, this waste will be taken off-site for re-use and recycling. Any construction and demolition waste removed from site will need to be managed in accordance with the provisions of current legislation and may include segregation by material type classification in accordance with NSW EPA (2014) <i>Waste Classification Guidelines: Part 1: Classifying Waste</i> and disposal at facilities that are appropriately licensed to receive the particular materials.</p> <p>A hazardous material survey has been undertaken prior on site, identifying the likelihood of Asbestos being present on site.</p> <p>Any hazardous materials uncovered during the works will be required to be removed in accordance with the relevant legislation and guidelines.</p>	Mitigation Measure included for Waste Management
Any increased demands on resources (natural or otherwise) which are, or are likely to become, in short supply?	The proposed minor works will not result in any increased demands on resources.	Nil
Any cumulative environmental effect with other existing or likely future activities?	The existing and future use of the site will remain as an educational establishment as a result of these works and therefore there will be no cumulative environmental effect arising from the works.	Nil
Any impact on coastal processes and coastal hazards, including those under projected climate change conditions?	The works will have no impact on coastal processes or hazards.	Nil
Any applicable local strategic planning statements, regional strategic plans or district strategic plans made under the Act, Division 3.1 ?	<p>The Fairfield City Local Strategic Planning Statement of March 2020 sets out a 20 – year vision for the future of Fairfield City LGA as it grows and changes.</p> <p>The proposal for internal alterations and addition works of the administration building at the existing school will help ensure that the school can continue to meet the day to day needs of the community in form of the continued development and upgrade of the educational facilities.</p>	Nil

**EC2255 – Aspect, Western Sydney
Minor Alterations and Additions – Administration Building**

Section 171 Review of Environmental Factors	Assessment	Mitigation Required
Any other relevant environmental factors?	There are no other relevant environmental factors that require assessment in relation to the proposed minor works.	Nil

5. CONCLUSION

This Review of Environmental Factors has reviewed the proposed works, assessed the works against the relevant statutory framework and has carried out an environmental impact assessment of the works, pursuant to the requirements of the EP&A Act, EP&A Regulation, the T&I SEPP and the Code.

The proposed works are classified as “minor alterations and additions” under the provisions of the Code, and do not trigger any of the consultation or notification requirements under the provisions of the T&I SEPP.

Specialist assessment BCA compliance has accompanied this assessment and have found the proposed works to be consistent with applicable plans and policies. A mitigation measure relating to BCA compliance has been included to ensure these outcomes are achieved.

The only mitigation measure relevant to the carrying out of the proposed works relates to the disposal of waste resulting from the construction phases of the works in accordance with the Waste Management Statement. Accordingly, an appropriate mitigation measure has been included in this regard.

This assessment has found that there are no unreasonable or detrimental impacts resulting from the minor works assessed under this REF and accordingly they can proceed pursuant to the Mitigation Measures set out under **Section 6**.

6. MITIGATION MEASURES

6.1. Authorised Documents

The development shall take place in accordance with the following plans prepared by DesignInc:

Drawing Name	Drawing No.	Issue	Date
Cover Sheet & Drawing Register	AR-001	6	17/04/2023
General Notes	AR-002	1	02/03/2023
Site Plan	AR-100	2	02/03/2023
Demolition Plan – Admin Building Level	AR-111	2	22/03/2023
General Layout – Admin Building Level Plan	AR-202	4	17/04/2023
FF&E – Level 1 Plan	AR-221	3	17/04/2023
General Ceiling -RCP Plans	AR-401	2	17/04/2023
Wall Types	AR-701	1	02/03/2023
Administration – Plan – Interior Details	AR-1005	4	17/04/2023
Joinery Details – Kitchen – JK-01 & Admin J-05 & JB-03	AR-1213	1	02/03/2023
Door Schedule	AR-1300	3	17/04/2023

The development shall also take place in accordance with the following documentation:

Document Name	Author	Issue	Date
Certificate of Title and Deposited Plan	Land Registry Services	-	23/03/2023
Bushfire Statement	BFCS	-	17/03/2023

Document Name	Author	Issue	Date
Building Code of Australia Assessment Statement	MBC Group	-	18/04/2023
Construction and Waste Management Report	Greenpoint Group Construction	-	23/03/2023
Section 10.7(2)&(5) Certificate	Fairfield City Council	-	23/03/2023
Structural Concept Plans	Adams Engineering	-	13/02/2023
Hazardous Materials Survey	Airsafe	-	12/10/2021

6.2. Mitigation Measures

6.2.1 BCA Compliance

The proposed works are to be carried out as described and assessed in the BCA Assessment Statement prepared by MBC Group dated 23 April 2023, such that the works will comply with the applicable requirements of the Building Code of Australia 2019 Volume 1 Amendment 1.

6.2.2 Waste Management

The management of waste during the carrying out of works must be in accordance with the Waste Management Statement prepared by Greenpoint Construction Group dated 23 March 2023, including the on-site storage of waste and correct disposal of waste materials in accordance with current legislation and the NSW EPA's *Waste Classification Guidelines, Part 1: Classifying Waste* (2014).

6.2.3 Waste Management Works

The Contractors shall remove all rubbish from the site resulting from the works. Rubbish shall be handled in a manner so as to confine the material completely and to minimise dust emissions. Waste is to be disposed of in accordance with the Waste Management Statement referenced under **Condition 6.2.2**.

6.2.4 Hazardous Materials Survey

A hazardous materials survey has been undertaken to identify any hazardous or potentially hazardous materials, to address the management of hazardous materials and to identify the relevant procedures to minimise the risk for staff, students, contractors and other visitors. The survey has identified the likely presence of Asbestos on site, within the electrical backing board of the Administration building. If any contaminated materials or hazardous substances are disturbed or uncovered during the works, these will be managed in accordance with the relevant requirements of the NSW EPA and all relevant legislation.

6.2.5 Construction Management Plan

A Construction Management Plan should be prepared by the contractor to outline the general construction management principles and controls to be implemented at the site. This should include measures to protect staff and students during the works, as well as the management of stakeholder consultation and communication.

6.3. Obligations under Code of Practice

6.3.1 Notification of Determination

Pursuant to Section 3.5.2 of the Code, once a determination has been made by the completion of a Decision Statement (and prior to the commencement of works), Autism Spectrum Australia is to notify Fairfield City Council and adjoining neighbours of its intention to proceed with the development proposal.

6.3.2 Certification of Building Works

Pursuant to Section 3.6.2 of the Code, prior to carrying out the works the subject of this REF, Autism Spectrum Australia is to obtain certification that the works comply with the technical provisions of the State's building laws. This requirement is fulfilled by the BCA Assessment Statement prepared by MBC Logic, and therefore as outlined under **Condition 6.2.1**, all works must be carried out as described and assessed in this BCA Assessment Statement.

GLOSSARY OF TERMS

- **BCA or Building Code of Australia** means the document, published by or on behalf of the
- **Consent Authority** means the authority having the function to determine a development application or an application for a CDC, and includes a Council or other entity specified by the EP&A Act, EP&A Regulation or an environmental planning instrument
- **Development Application** means an application for development consent under Part 4 of the EP&A Act to carry out development, but does not include an application for a complying development certificate.
- **DCP or Development Control Plan** means a development control plan in force under Division 6 of Part 3 of the EP&A Act
- **Environmental Planning Instrument** means an environmental planning instrument (including a SEPP or LEP but not including a DCP) made under Part 3 of the EP&A Act
- **EP&A Act** means the Environmental Planning & Assessment Act 1979 (NSW)
- **EP&A Regulation** means the Environmental Planning and Assessment Regulation 2021 (NSW)
- **Exempt Development** means a development which is specified in an environmental planning instrument as not requiring development consent or an approval under Part 5 of the EP&A Act
- **LEP** means a Local Environmental Plan made under Division 4 of Part 3 of the EP&A Act
- **LGA** means Local Government Area
- **Planning Certificate** means a certificate made by a Council specifying matters relating to land in accordance with the provision of Section 149 of the EP&A Act.
- **SEPP** means a State Environmental Planning Policy made under Division 2 of Part 3 of the EP&A Act
- **Standard Instrument** means the Standard Instrument - Principal Local Environmental Plan
- **T&I SEPP** mean the State Environmental Planning Policy (Transport and Infrastructure) 2021

APPENDIX A – Architectural Plans

ARCHITECTURE:

000	GENERAL INFORMATION
100	SITE INFORMATION
200	GENERAL ARRANGEMENT PLANS
400	GA RCP'S
700	WALL TYPES
1000	INTERIOR - SPECIAL AREAS
1100	WET AREAS
1200	INTERIOR DETAILS
1300	SCHEDULES

295 VICTORIA ST, WETHERILL PARK

ASPECT WESTERN SYDNEY CAMPUS



PROPOSED CONCEPT CLASSROOM DESIGN - FOR INFORMATION ONLY

SHEET LIST- DRAWING REGISTER				
SHEET NUMBER	SHEET NAME	REVISION	REVISION DATE	REVISION DESCRIPTION
000 - GENERAL				
AR-001	COVER SHEET & DRAWING REGISTER	6	17/04/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE
AR-002	GENERAL NOTES	1	02/03/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE
100 - SITE				
AR-100	SITE PLAN	2	02/03/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE
AR-110	DEMOLITION PLAN - CLA & STAFF BUILDING	3	22/03/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE
AR-111	DEMOLITION PLAN - ADMIN BUILDING LEVEL	2	22/03/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE
200 - PLANS SERIES				
AR-201	GENERAL LAYOUT - GROUND FLOOR CLA BUILDING PLAN	3	02/03/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE
AR-202	GENERAL LAYOUT - ADMIN BUILDING LEVEL PLAN	4	17/04/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE
AR-220	FF&E - GROUND FLOOR PLAN	2	24/02/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE
AR-221	FF&E - LEVEL 1 PLAN	3	17/04/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE
400 - REFLECTED CEILING PLANS				
AR-401	GENERAL CEILING - RCP PLANS	2	17/04/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE
700 - WALL TYPES				
AR-701	WALL TYPES	1	02/03/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE
1000 - INTERIOR SPECIAL AREAS				
AR-1000	INTERIOR CLA COLOURS KEY PLAN	1	02/03/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE
AR-1001	STAFF MULTIPURPOSE ROOM & CLA 1	3	22/03/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE
AR-1002	STAFF ROOM & CLA 2, 3 - INTERIOR DETAILS	3	22/03/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE
AR-1003	CLA 1 & 2 - INTERIOR DETAILS	3	22/03/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE
AR-1004	LAUNDRY & STORE ROOM DETAILS	4	02/03/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE
AR-1005	ADMINISTRATION - PLAN - INTERIOR DETAILS	4	17/04/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE
1100 - WET AREAS				
AR-1101	EXISTING GIRLS TOILETS - GF - PLAN & ELEVATIONS	1	02/03/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE
AR-1102	EXISTING GIRLS TOILETS - GF - RCP & ELEVATIONS	1	02/03/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE
AR-1103	EXISTING BOYS TOILETS - GF - PLAN & ELEVATIONS	1	02/03/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE
AR-1104	EXISTING BOYS TOILETS - RCP	1	02/03/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE
AR-1105	EX-STUDENT TOILETS - GF - PLAN & ELEVATIONS	1	02/03/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE
AR-1106	EX-STAFF MALE TOILET - GF - PLAN & ELEVATIONS	1	02/03/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE
AR-1107	EX-STAFF FEMALE TOILETS - GF - PLAN & ELEVATIONS	1	02/03/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE
1200 - INTERIOR DETAILS				
AR-1200	FLOOR JUNCTION DETAILS	1	02/03/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE
AR-1201	PARTITION, SKirting & CEILING DETAILS	1	02/03/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE
AR-1210	TYPICAL JOINERY DETAILS	1	02/03/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE
AR-1211	JOINERY DETAILS - GLAS - J-01 & J-02	1	02/03/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE
AR-1212	JOINERY DETAILS - GLAS - J-03, J-04	1	02/03/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE
AR-1213	JOINERY DETAILS - KITCHEN - JK-01 & ADMIN J-05 & J-03	1	02/03/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE
AR-1214	JOINERY - LAUNDRY & STORE ROOM J-01, J-02 SW, J-03 SW & J-04 SW	1	02/03/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE
1300 - SCHEDULES				
AR-1300	DOOR SCHEDULE	3	17/04/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE
AR-1301	GLAZING SCHEDULE	2	02/03/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE


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No	DATE	REVISIONS	BY
D	16/02/2023	DESIGN DEVELOPMENT ISSUE	PA
1	22/02/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE	PA
2	24/02/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE	PA
3	08/03/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE	PA
4	22/03/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE	PA
5	27/03/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE	PA
6	17/04/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE	PA

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CLIENT
 **ASPECT AUTISM SPECTRUM**

PROJECT
WESTERN SYDNEY CAMPUS UPGRADE

295 VICTORIA ST, WETHERILL PARK

DETAILS
 DRAWN PA
 CHECKED RF
 APPROVED

TITLE
COVER SHEET & DRAWING REGISTER

DRAWING NUMBER SCALE
AR-001 NTS @A1

ARCHITECTURAL DOCUMENTATION DRAWING PACKAGE - DESIGN DEVELOPMENT

PROJECT: ASPECT WESTERN SYDNEY CAMPUS, ADDRESS: 295 VICTORIA ST, WETHERILL PARK

ACKNOWLEDGEMENT OF LAND

WE ACKNOWLEDGE AND PAY RESPECT TO ALL OF AUSTRALIA'S ORIGINAL CUSTODIANS OF THIS LAND, THE ELDERS PAST, PRESENT AND EMERGING. THEY REPRESENT THE OLDEST LIVING CULTURE AND WE HONOUR THEIR TRADITIONS, CUSTOMS AND CUSTODIAL PRACTICES.

SYMBOLS AND TAGS

	SET OUT SYMBOL
	RL LEVEL MARKER
	PLAN CALL OUT SYMBOL
	CHECK / CONFIRM ON SITE TAG
	CENTRELINE SYMBOL
	SET DOWN SYMBOL
	ROOM NAME & AREA TAG
	WINDOW / DOOR TAG
	KEYNOTE TAG
	FINISHES TAG
	WALL TYPE TAG
	ELEVATION MARKER - INTERNAL / ROOM
	SECTION MARKER
	VIEW ON SHEET TITLE BLOCK

GENERAL NOTES

AUTHORITIES:

- ALL WORKS (INCLUDING BUT NOT LIMITED TO DEMOLITION, CONSERVATION, EXCAVATION & CONSTRUCTION WORKS) ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA (BCA) IN ACCORDANCE WITH CLAUSE 98 OF THE ENVIRONMENTAL PLANNING & ASSESSMENT REGULATION 2000, THE NSW WORK HEALTH AND SAFETY ACT 2011 AND THE NSW WORK HEALTH AND SAFETY REGULATION 2011 & (FOR REGULATED DESIGN) THE NSW DESIGN AND BUILDING PRACTITIONERS ACT 2020.
- ASPECT (CLIENT) THROUGH CONSTRUCTION ASSIGNMENTS PROJECT MANAGER HAVE ADVISED THAT ALL WORKS ARE TO BE COMPLETED VIA EXCEMPT DEVELOPMENT OR DEVELOPMENT WITHOUT CONSENT, DESIGNINC AND GREENPOINT CONSTRUCTION GROUP THEREFORE UNDERSTAND THAT LOCAL AND AUTHORITY APPROVALS ARE THEREFORE NOT REQUIRED PRIOR COMMENCING WORK AND CONSTRUCTION CERTIFICATE IS NOT REQUIRED.
- THE ARCHITECT IS NOT RESPONSIBLE FOR ANY CHANGES REQUESTED BY ANY AUTHORITIES.

DOCUMENTS:

- THESE ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL REPORTS, SCHEDULES AND SPECIFICATIONS, THE ARCHITECTURAL DOCUMENTS DESCRIBE THE DESIGN INTENT AND PERFORMANCE REQUIREMENTS FOR THE PROJECT.
- THESE ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANTS' DRAWINGS, SPECIFICATIONS.
- THESE ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL SUCH WRITTEN INSTRUCTIONS AS MAY BE ISSUED AT ANY TIME DURING THE CONTRACT.
- REFER TO THE FOLLOWING DRAWINGS AS APPLICABLE, SPECIFICATIONS AND REPORTS WHICH ARE TO TAKE PRECEDENCE OVER ANY STRUCTURAL, SERVICES, TECHNICAL OR LANDSCAPE INFORMATION SHOWN ON THE ARCHITECTURAL DRAWINGS, SCHEDULES, REPORTS AND SPECIFICATIONS:
 - THE STRUCTURAL ENGINEER'S DOCUMENTATION: DRAWINGS AND SPECIFICATIONS FOR ALL STRUCTURAL REQUIREMENTS AND DETAILS.
 - THE HYDRAULIC ENGINEER'S DOCUMENTATION: DRAWINGS AND SPECIFICATIONS FOR ALL HYDRAULIC REQUIREMENTS, REFERENCE LEVELS (RL) AND DETAILS.
 - THE SERVICES ENGINEER'S DOCUMENTATION: DRAWINGS AND SPECIFICATIONS FOR ALL ELECTRICAL, FIRE SERVICES, ELECTRONIC, SECURITY ACCESS AND MECHANICAL REQUIREMENTS AND DETAILS. LOCATIONS AND POSITIONS TO COORDINATE WITH ARCHITECTURAL OR INTERIOR DESIGN REQUIREMENTS.
 - THE CIVIL ENGINEER'S DOCUMENTATION: DRAWINGS AND SPECIFICATIONS FOR ALL CIVIL ENGINEERING, INCLUDING BUT NOT LIMITED TO ROAD DESIGN, STORM WATER, FLOODING.
 - THE FIRE ENGINEERING REPORT, FIRE SAFETY STATEMENT OR FIRE ENGINEER'S ALTERNATIVE SOLUTIONS FOR ALL FIRE SAFETY AND EGRESS MEASURES, WHICH ARE TO TAKE PRECEDENCE OVER ANY FIRE SAFETY INFORMATION SHOWN ON THE ARCHITECTURAL DRAWINGS, SCHEDULES AND SPECIFICATION.
 - THE HAZARDOUS MATERIALS REPORT WHERE PROVIDED.
- THE BUILDING CONTRACTOR SHALL REFER ANY DISCREPANCY, ERRORS, OMISSIONS, INCONSISTENCIES OR OTHER FAULTS FOUND IN THE ARCHITECTURAL DOCUMENTATION TO THE SUPERINTENDENT / PROJECT MANAGER / PRINCIPAL AUTHORISED PERSON FOR DECISION BEFORE PROCEEDING WITH THE WORKS.
- ANY WORKS SHOWN ON ONE DRAWING BUT NOT ON ANOTHER, OR SHOWN ON A CONSULTANT'S DRAWING BUT NOT ON THE ARCHITECTURAL DRAWINGS OR VICE VERSA ARE DEEMED TO BE INCLUDED IN THE CONTRACT WORKS, UNLESS NOTED OTHERWISE.
- ALL WORKS NOTED IN THE DRAWING ARE TO BE REGARDED AS NEW WORKS TO BE CARRIED OUT BY THE HEAD CONTRACTOR UNLESS OTHERWISE EXPLICITLY EXCLUDED IN WRITING IN THE CONTRACT DOCUMENTATION.
- THE DRAWINGS, SPECIFICATIONS, SCHEDULES AND REPORTS INDICATE AND DESCRIBE THE INTENT AND SCOPE OF THE WORKS.
- THE ARCHITECTURAL DRAWINGS SHOW MINIMUM DESIGN DIMENSIONS AND CLEARANCES UNLESS NOTED OTHERWISE.
- THE HEAD CONTRACTOR IS TO ENSURE SUFFICIENT TOLERANCES ARE ALLOWED FOR THE CONSTRUCTION WORKS.
- THE HEAD CONTRACTOR IS TO ALLOW FOR ALL MATERIAL, EQUIPMENT, ACCESSORIES, LABOUR, ADDITIONAL DESIGN INPUT, PERMITS, APPROVALS AND THE LIKE TO COMPLETE THE WORKS IN ACCORDANCE WITH THIS INTENT AND SCOPE AND FOR THESE WORKS TO BE FIT FOR THEIR INTENDED PURPOSE.
- PRIOR TO COMMENCEMENT OF ANY WORKS, THE BUILDING CONTRACTOR IS TO IDENTIFY ALL EXISTING SERVICES. EXISTING SERVICES IF SHOWN ON ANY DRAWING ARE INDICATIVE ONLY AND TO BE CHECKED AND LOCATED ON SITE. ANY DAMAGE TO EXISTING SERVICES IS TO BE RECTIFIED AT THE BUILDING CONTRACTOR EXPENSE.
- THESE DRAWING ARE COPYRIGHT AND THE PROPERTY OF THE AUTHOR, AND MUST NOT BE RETAINED, REPRODUCED, COPIED OR USED, IN WHOLE OR IN PART BY ANY MEDIUM WITHOUT THE WRITTEN AUTHORITY OF DESIGNINC SYDNEY.

PROPRIETARY SYSTEMS

ALL PROPRIETARY SYSTEMS ARE TO BE INSTALLED AND FIXED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS AND TO MEET RELEVANT CONSTRUCTION STANDARDS AND REQUIREMENTS

REFERENCES:

THE FOLLOWING DESIGN PACKAGES ARE RELEVANT TO THIS SUBMISSION:
SERIES 100 SITE INFORMATION & DEMOLITION PLANS
SERIES 200 GENERAL ARRANGEMENT PLANS
SERIES 400 GENERAL ARRANGEMENT RCPs
SERIES 1000 INTERIOR DESIGN DETAILS
SERIES 1100 WET AREA DETAILS
SERIES 9500 SCHEDULES & SPECIFICATIONS

- DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED BY THE ARCHITECT DURING THE COURSE OF CONSTRUCTION. WHERE THERE IS A DISCREPANCY, THIS SHALL BE RESOLVED BY THE ARCHITECT.
- NOTES ON SPECIFIC DOCUMENTS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES.

RELATIVE LEVELS:

- ALL LEVELS AND RLS INDICATED RELATE TO THE AUSTRALIAN HEIGHT DATUM (AHD). A BENCHMARK IS TO BE ESTABLISHED ADJACENT TO THE SITE TO AUSTRALIAN HEIGHT DATUM TO ENABLE COMPARISON WITH THE FLOOD STANDARD.
- ALL SURVEY INFORMATION AND LEVELS ARE REFERENCED FROM THE SURVEY PLAN PREPARED BY THE PROJECT SURVEYOR AND ARE TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION OR MANUFACTURING. REPORT ANY DISCREPANCIES TO THE PRINCIPAL AUTHORISED PERSON IMMEDIATELY.
- THE FLOOR LEVEL IS TO BE CERTIFIED BY A REGISTERED SURVEYOR PRIOR TO POURING OF FLOOR SLABS OR INSTALLATION OF FLOORING.
- NOTES ON SPECIFIC DOCUMENTS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES.

SAMPLES AND SCHEDULES:

- PRIOR TO INSTALLATION OR CONSTRUCTION, THE CONTRACTOR IS TO PROVIDE A SAMPLE OF EACH SPECIFIED ELEMENT COMPLETE WITH EACH MANUFACTURER'S CERTIFICATES SHOWING COMPLIANCE WITH THE RELEVANT PERFORMANCE CRITERIA, FOR APPROVAL BY THE SUPERINTENDENT.
- PRIOR TO ORDERING AND INSTALLING DOORS, WINDOWS, DOOR HARDWARE AND OTHER SPECIALIST ELEMENTS SCHEDULED IN THE DOCUMENTS, THE RELEVANT SUB-CONTRACTOR IS TO PROVIDE A RETURN SCHEDULE FOR APPROVAL BY THE PRINCIPAL AUTHORISED PERSON.

SETTING OUT:

- THE CONTRACTOR IS TO CHECK AND VERIFY ALL SET OUT DIMENSIONS AND LEVELS ON SITE PRIOR TO THE COMMENCEMENT OF ANY RELEVANT PART OF THE WORKS.
- A LICENSED SURVEYOR IS TO ESTABLISH THE EXACT POSITION OF ALL SETBACKS AND PROPERTY BOUNDARIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. BUILDING
- SETBACKS ARE TO BE SET OUT FROM THE BOUNDARY TO THE FINISHED EXTERNAL FACE OF EXTERNAL WALLS.
- ALL SET OUT DIMENSIONS AND LEVELS ARE TO BE CHECKED BY THE LICENSED SURVEYOR ON SITE AND ALL OVERALL AND CRITICAL DIMENSIONS ARE TO BE SET OUT FOR SUPERINTENDENT APPROVAL PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.
- NO PART OF THE BUILDING IS TO BE CONSTRUCTED OVER A SPECIFIED SETBACK LINE, EASEMENT, CARRIAGEWAY, COVENANT, PROPERTY BOUNDARY, TREE PROTECTION ZONE OR THE LIKE EXCEPT WHERE SPECIFICALLY SHOWN ON THE DRAWINGS. REPORT ANY DISCREPANCIES IN THE BUILDING SETOUT TO THE SUPERINTENDENT IMMEDIATELY.

SLIP RESISTANCE OF FLOOR SURFACES:

COMPLIANCE WITH THE RECOMMENDATIONS OF AUSTRALIAN STANDARDS SLIP RESISTENCE CLASSIFICATION FOR NEW PEDESTRIAN SURFACE MATERIALS AND HB196:2014 GUIDE TO THE SPECIFICATION AND TESTING OF SLIP RESISTANCE FOR PEDESTRIAN SURFACES.

000 Series

ARCHITECTURE:

000	GENERAL INFORMATION
100	SITE INFORMATION
200	GENERAL ARRANGEMENT PLANS
400	GA RCP'S
700	WALL TYPES
1000	INTERIOR - SPECIAL AREAS
1100	WET AREAS
1200	INTERIOR DETAILS
1300	SCHEDULES

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No	DATE	REVISIONS	BY
A	30/01/2023	DESIGN DEVELOPMENT	PA
B	16/02/2023	DESIGN DEVELOPMENT ISSUE	PA
1	02/03/2023	PRE-CONSTRUCTION SET - PRELIMINARY ISSUE FOR CO-ORDINATION ONLY - ISSUE FOR CO-ORDINATION AND REVIEW	PA

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--	------------------------

PROJECT

WESTERN SYDNEY CAMPUS UPGRADE

295 VICTORIA ST, WETHERILL PARK

DETAILS

DRAWN	PA
CHECKED	RF
APPROVED	

TITLE

GENERAL NOTES

DRAWING NUMBER	SCALE
AR-002	NTSdicated @ A1

100 Series

ARCHITECTURE:

000	GENERAL INFORMATION
100	SITE INFORMATION
200	GENERAL ARRANGEMENT PLANS
400	GA RCP'S
700	WALL TYPES
1000	INTERIOR - SPECIAL AREAS
1100	WET AREAS
1200	INTERIOR DETAILS
1300	SCHEDULES

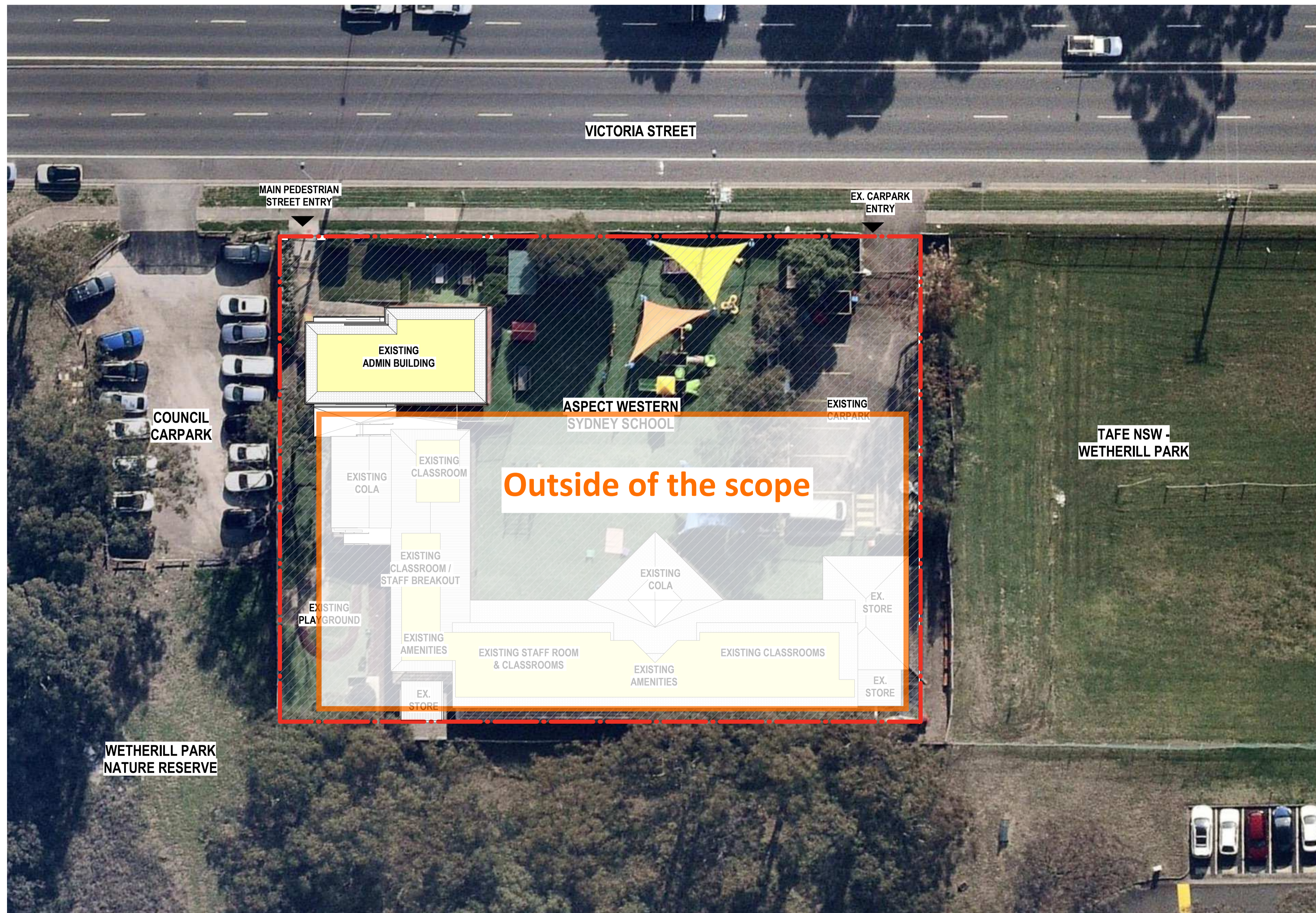
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2	02/03/2023	PRE-CONSTRUCTION SET - PRELIMINARY ISSUE FOR CO-ORDINATION ONLY - ISSUE FOR CO-ORDINATION AND REVIEW	PA



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CLIENT

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ASPECT AUTISM SPECTRUM

PROJECT

WESTERN SYDNEY CAMPUS UPGRADE

295 VICTORIA ST, WETHERILL PARK

DETAILS

DRAWN PA
CHECKED RF
APPROVED
SCALE BAR - 1:200

TITLE

SITE PLAN

SITE PLAN

DRAWING NUMBER SCALE
AR-100 As indicated @ A1

LEGEND

- NEW WORKS
- SCOPE OF WORKS - LIMITED ONLY TO THE INTERIOR REFURISHMENT OF EXISTING CLASSROOMS, STAFF AND ADMIN AREAS AND AMENITIES. NO EXTERNAL WORKS
- EXISTING - EXCLUDED FROM SCOPE OF WORKS. TO REMAIN AS EXISTING

100 Series

ARCHITECTURE:

- 000 GENERAL INFORMATION
- 100 SITE INFORMATION
- 200 GENERAL ARRANGEMENT PLANS
- 400 GA RCP'S
- 700 WALL TYPES
- 1000 INTERIOR - SPECIAL AREAS
- 1100 WET AREAS
- 1200 INTERIOR DETAILS
- 1300 SCHEDULES

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No	DATE	REVISIONS	BY
A	27/06/2022	CONCEPT PHASE - PRELIMINARY ISSUE FOR REVIEW	PA
B	19/12/2022	DESIGN DEVELOPMENT	PA
C	30/01/2023	DESIGN DEVELOPMENT	PA
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2	22/03/2023	PRE-CONSTRUCTION SET - PRELIMINARY ISSUE FOR CO-ORDINATION ONLY - ISSUE FOR CO-ORDINATION AND REVIEW	PA

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DesignInc
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CLIENT
 **ASPECT AUTISM SPECTRUM**

PROJECT
WESTERN SYDNEY CAMPUS UPGRADE



295 VICTORIA ST, WETHERILL PARK

DETAILS
 DRAWN JO
 CHECKED PA
 APPROVED
 TITLE
DEMOLITION PLAN - ADMIN BUILDING LEVEL

DRAWING NUMBER
AR-111

SCALE
 1 : 100 @ A1

LEGEND

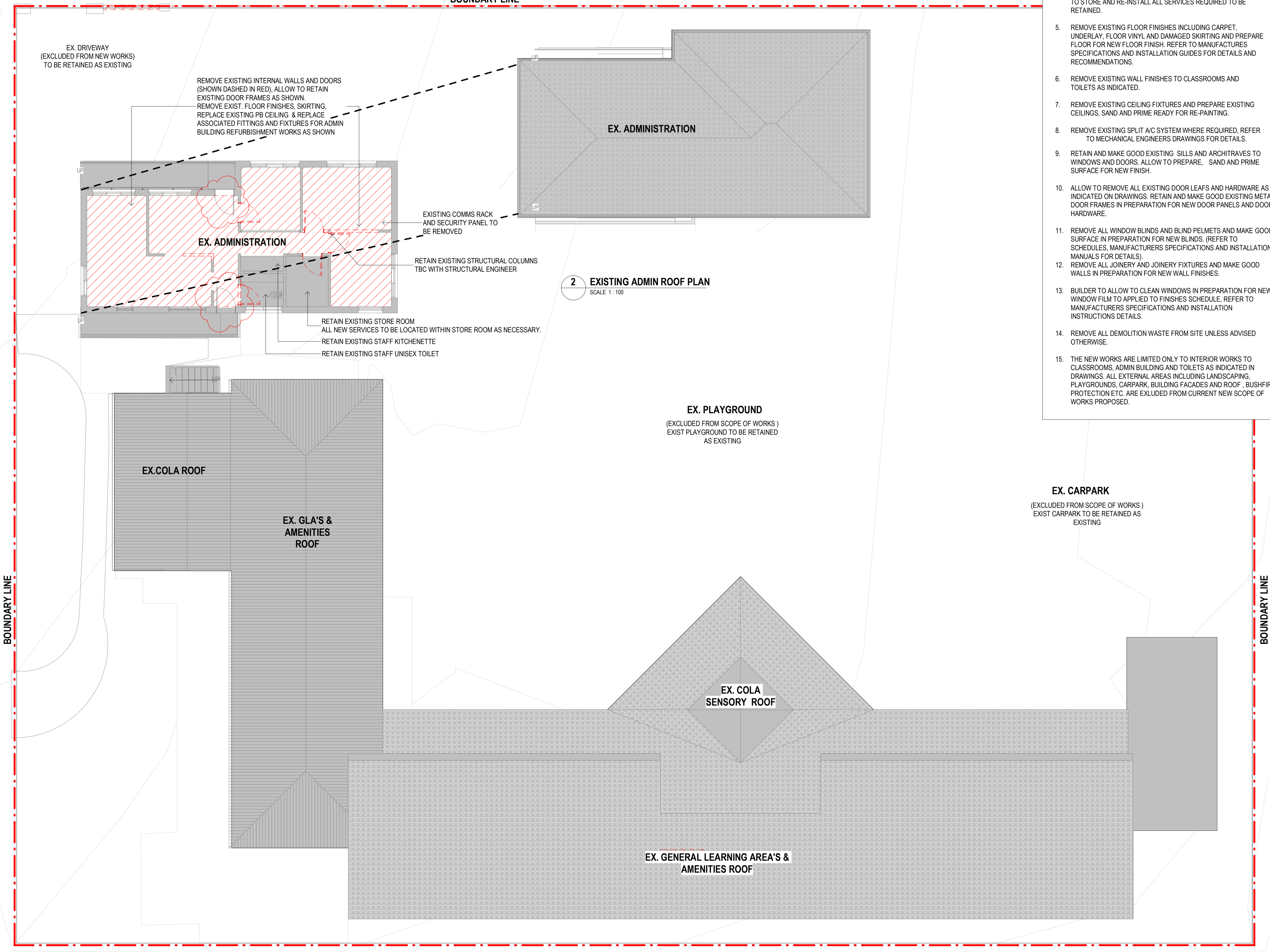
-  - NOT IN SCOPE
-  - DEMOLITION SCOPE

- GENERAL NOTES - DEMOLITION PLANS**
1. EXISTING SURVEY LEVELS, WINDOW AND DOOR LOCATIONS INCLUDING SIZES TO BE CHECKED AND CONFIRMED ON SITE.
 2. CONTRACTOR TO CHECK ON SITE & NOTIFY SUPERINTENDENT OF ANY UNFORESEEN STRUCTURAL OR SERVICE ITEMS EXPOSED DURING DEMOLITION WORKS.
 3. CONTRACTOR TO TAKE CARE DURING DEMOLITION WORK TO PROTECT EXISTING BUILDING FABRIC, FLOORS, CEILING, WINDOWS & DOORS SHOWN TO BE RETAINED.
 4. ALLOW TO REMOVE EXISTING FIXTURES AND CAP-OFF ALL REDUNDANT SERVICES INCLUDING LIGHT FIXTURES, SENSORS, ILLUMINATED SIGNAGE, LIGHT SWITCHES, GPO'S, PHONES, SPEAKERS, PA SYSTEMS, CAMERAS AND CONDUITS AND ALLOW TO STORE AND RE-INSTALL ALL SERVICES REQUIRED TO BE RETAINED.
 5. REMOVE EXISTING FLOOR FINISHES INCLUDING CARPET, UNDERLAY, FLOOR VINYL AND DAMAGED SKIRTING AND PREPARE FLOOR FOR NEW FLOOR FINISH. REFER TO MANUFACTURERS SPECIFICATIONS AND INSTALLATION GUIDES FOR DETAILS AND RECOMMENDATIONS.
 6. REMOVE EXISTING WALL FINISHES TO CLASSROOMS AND TOILETS AS INDICATED.
 7. REMOVE EXISTING CEILING FIXTURES AND PREPARE EXISTING CEILINGS, SAND AND PRIME READY FOR RE-PAINTING.
 8. REMOVE EXISTING SPLIT A/C SYSTEM WHERE REQUIRED. REFER TO MECHANICAL ENGINEERS DRAWINGS FOR DETAILS.
 9. RETAIN AND MAKE GOOD EXISTING SILLS AND ARCHITRAVES TO WINDOWS AND DOORS. ALLOW TO PREPARE, SAND AND PRIME SURFACE FOR NEW FINISH.
 10. ALLOW TO REMOVE ALL EXISTING DOOR LEAFS AND HARDWARE AS INDICATED ON DRAWINGS. RETAIN AND MAKE GOOD EXISTING METAL DOOR FRAMES IN PREPARATION FOR NEW DOOR PANELS AND DOOR HARDWARE.
 11. REMOVE ALL WINDOW BLINDS AND BLIND PELMETS AND MAKE GOOD SURFACE IN PREPARATION FOR NEW BLINDS. (REFER TO SCHEDULES, MANUFACTURERS SPECIFICATIONS AND INSTALLATION MANUALS FOR DETAILS).
 12. REMOVE ALL JOINERY AND JOINERY FIXTURES AND MAKE GOOD WALLS IN PREPARATION FOR NEW WALL FINISHES.
 13. BUILDER TO ALLOW TO CLEAN WINDOWS IN PREPARATION FOR NEW WINDOW FILM TO APPLIED TO FINISHES SCHEDULE. REFER TO MANUFACTURERS SPECIFICATIONS AND INSTALLATION INSTRUCTIONS DETAILS.
 14. REMOVE ALL DEMOLITION WASTE FROM SITE UNLESS ADVISED OTHERWISE.
 15. THE NEW WORKS ARE LIMITED ONLY TO INTERIOR WORKS TO CLASSROOMS, ADMIN BUILDING AND TOILETS AS INDICATED IN DRAWINGS. ALL EXTERNAL AREAS INCLUDING LANDSCAPING, PLAYGROUNDS, CARPARK, BUILDING FACADES AND ROOF, BUSHFIRE PROTECTION ETC. ARE EXCLUDED FROM CURRENT NEW SCOPE OF WORKS PROPOSED.

VICTORIA STREET

MAIN PEDESTRIAN STREET ENTRY

BOUNDARY LINE



2 EXISTING ADMIN ROOF PLAN
 SCALE 1 : 100

ARCHITECTURE:

000	GENERAL INFORMATION
100	SITE INFORMATION
200	GENERAL ARRANGEMENT PLANS
400	GA RCP'S
700	WALL TYPES
1000	INTERIOR - SPECIAL AREAS
1100	WET AREAS
1200	INTERIOR DETAILS
1300	SCHEDULES

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B	19/12/2022	DESIGN DEVELOPMENT	PA
C	30/01/2023	DESIGN DEVELOPMENT	PA
D	16/02/2023	DESIGN DEVELOPMENT ISSUE	PA
1	22/02/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE	PA
2	22/03/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE	PA
3	27/03/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE	PA
4	17/04/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE	PA

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ASPECT AUTISM SPECTRUM

PROJECT

WESTERN SYDNEY CAMPUS UPGRADE

295 VICTORIA ST, WETHERILL PARK

DETAILS

DRAWN: PA
CHECKED: RF
APPROVED: RF
SCALE BAR: 1:100
0 1000 2000 3000 4000 5000 mm

TITLE

GENERAL LAYOUT - ADMIN BUILDING LEVEL PLAN

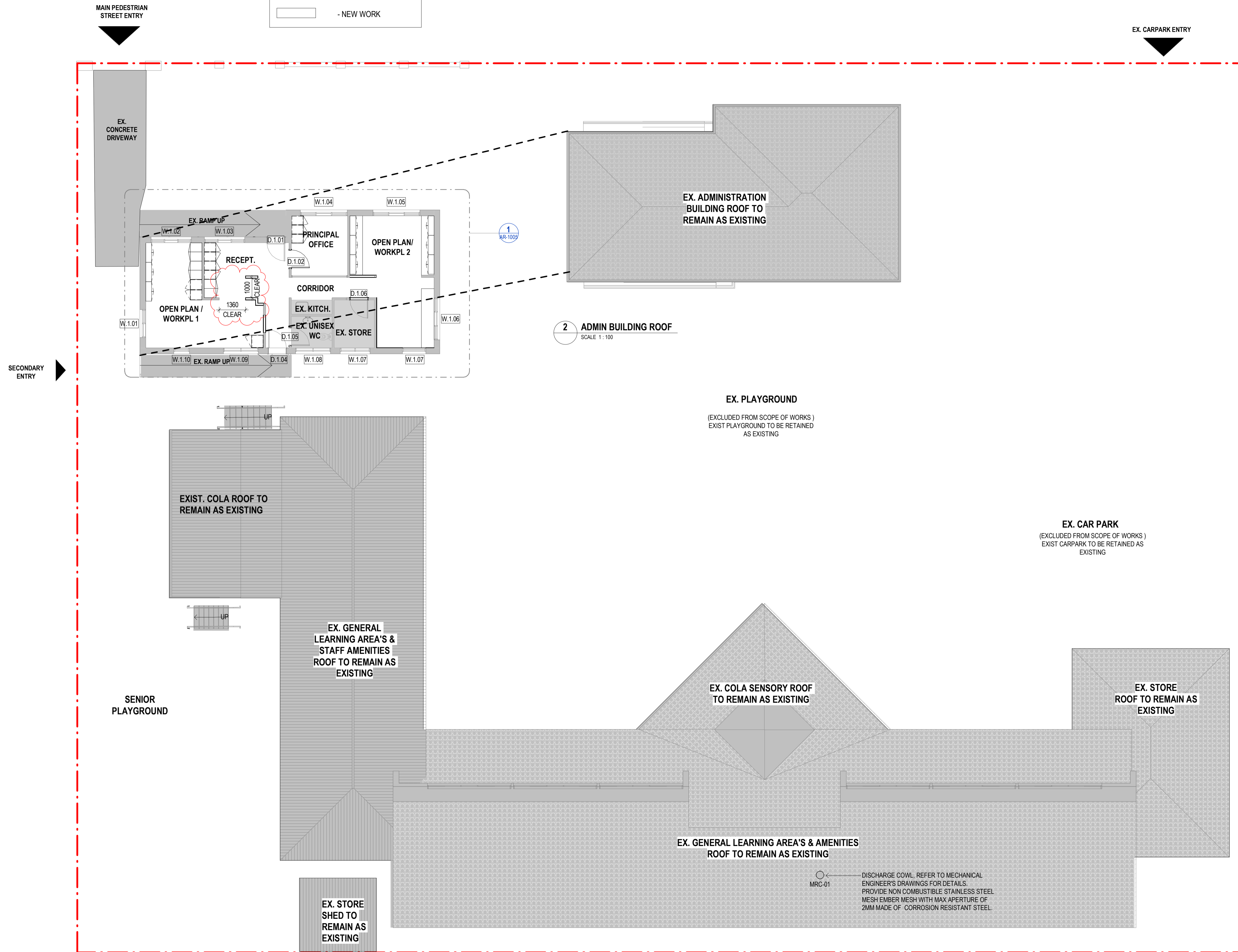
DRAWING NUMBER: AR-202

SCALE: 1:100 @ A1

VICTORIA STREET

LEGEND

- [Grey Box] - NOT IN SCOPE
- [White Box] - NEW WORK



2 ADMIN BUILDING ROOF
SCALE: 1:100

EX. PLAYGROUND
(EXCLUDED FROM SCOPE OF WORKS)
EXIST PLAYGROUND TO BE RETAINED AS EXISTING

EX. CAR PARK
(EXCLUDED FROM SCOPE OF WORKS)
EXIST CARPARK TO BE RETAINED AS EXISTING

MRC-01
DISCHARGE COWL, REFER TO MECHANICAL ENGINEER'S DRAWINGS FOR DETAILS. PROVIDE NON COMBUSTIBLE STAINLESS STEEL MESH EMBER MESH WITH MAX APERTURE OF 2MM MADE OF CORROSION RESISTANT STEEL.

200 Series

ARCHITECTURE:

- 000 GENERAL INFORMATION
- 100 SITE INFORMATION
- 200 GENERAL ARRANGEMENT PLANS
- 400 GA RCP'S
- 700 WALL TYPES
- 1000 INTERIOR - SPECIAL AREAS
- 1100 WET AREAS
- 1200 INTERIOR DETAILS
- 1300 SCHEDULES

NOTE:

- All Loose Furniture to be supplied by Client
- All Joinery & Fixtures to be supplied by Contractor

LEGEND

- NOT IN SCOPE

FF&E SCHEDULE - LEVEL 1				
Keynote	Description	Count	Level	Category
EX-TV	EXISTING SMART TV	2	LV1	Electrical Equipment
OV-01	Oven: Electric	1	LV1	Electrical Equipment
PRI-01	PRINTER	1	LV1	Electrical Equipment
CH14	OFFICE TASK CHAIR	14	LV1	Furniture
CH16	VISITOR CHAIR	2	LV1	Furniture
MI-01	MIRROR - 400Wx1000H	2	LV1	Furniture
ST5	MOBILE PEDESTAL - LOCKABLE	12	LV1	Furniture
T-16	RECEPTION DESK	1	LV1	Furniture
WS02	WORKSTATION - 1800w x 750d	6	LV1	Furniture
F1	LIGHTING FIXTURE - 1200x300, 1x28W	1	LV1	Lighting Fixtures

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PROJECT

WESTERN SYDNEY CAMPUS UPGRADE

295 VICTORIA ST, WETHERILL PARK

DETAILS

DRAWN PA
 CHECKED RF
 APPROVED
 SCALE BAR: 1:100


TITLE

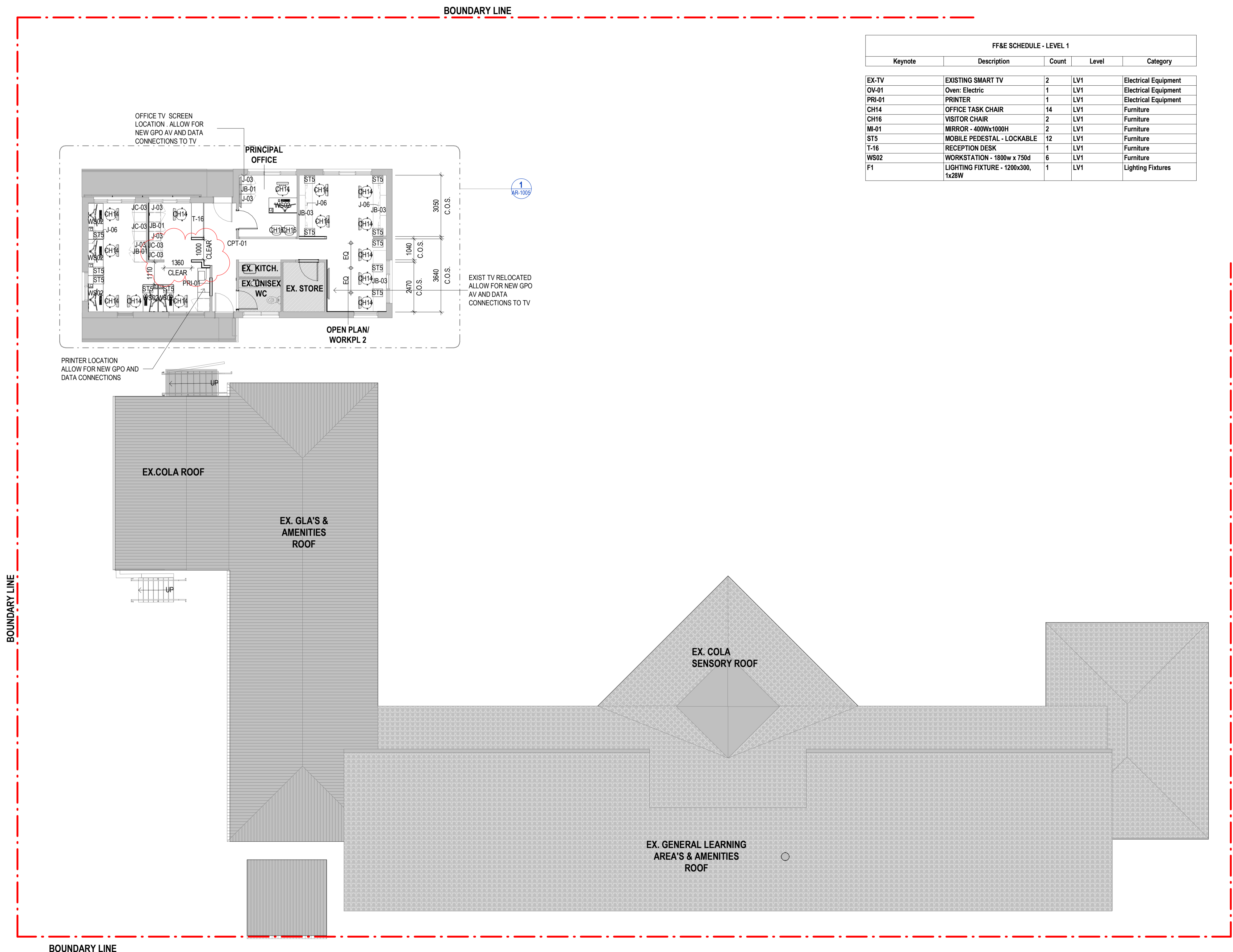
FF&E - LEVEL 1 PLAN

DRAWING NUMBER

AR-221

SCALE

1:100 @A1

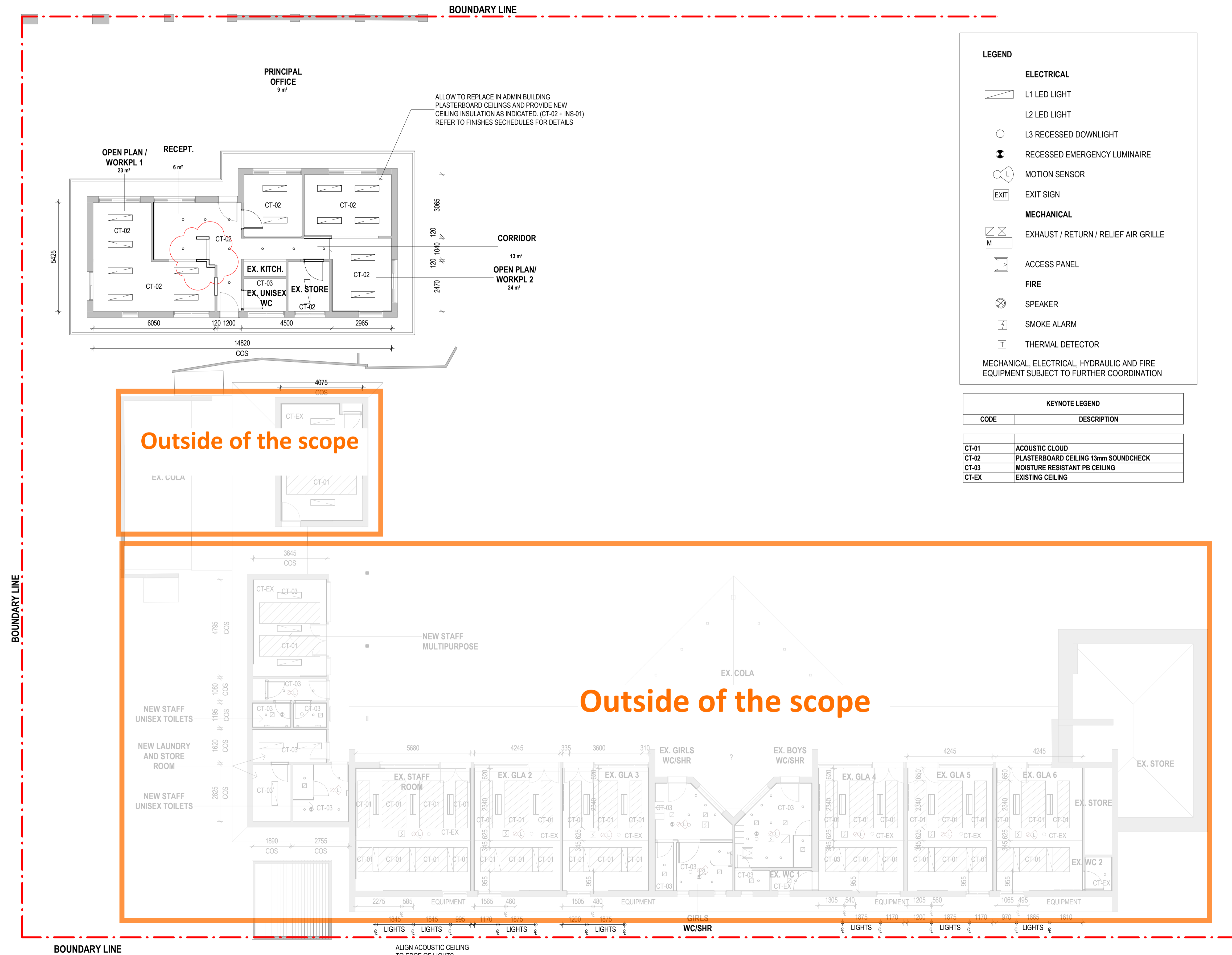


400 Series

VICTORIA STREET

ARCHITECTURE:

- 000 GENERAL INFORMATION
- 100 SITE INFORMATION
- 200 GENERAL ARRANGEMENT PLANS
- 400 GA RCP'S
- 700 WALL TYPES
- 1000 INTERIOR - SPECIAL AREAS
- 1100 WET AREAS
- 1200 INTERIOR DETAILS
- 1300 SCHEDULES



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DETAILS
 DRAWN JO
 CHECKED RF
 APPROVED
 SCALE BAR: 1:100

TITLE
GENERAL CEILING - RCP PLANS

DRAWING NUMBER SCALE
AR-401 1:100 @ A1

INTERNAL PARTITION WALLS					
WALL TYPE:	L1.1	L1.2	L1.3	L1.4	
MIN FRL	-/-/-	-/-/-	-/-/-	-/-/-	
MIN ACOUSTIC R _w	45	N/A	N/A	N/A	
THERMAL R VALUE	N/A	N/A	N/A	N/A	
CSR REFERENCE	CSR SYSTEM 1037	N/A	N/A	N/A	

ARCHITECTURE:

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DETAILS
DRAWN JO
CHECKED RF
APPROVED
SCALE BAR - 1:10
0 100 200 300 400 500 mm

TITLE
WALL TYPES

DRAWING NUMBER
AR-701
SCALE
1:10 @ A1

1000 Series

ARCHITECTURE:

000	GENERAL INFORMATION
100	SITE INFORMATION
200	GENERAL ARRANGEMENT PLANS
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DETAILS

DRAWN PA
CHECKED RF
APPROVED
SCALE BAR: 1:50
0 500 1000 1500 2000 2500 mm

TITLE

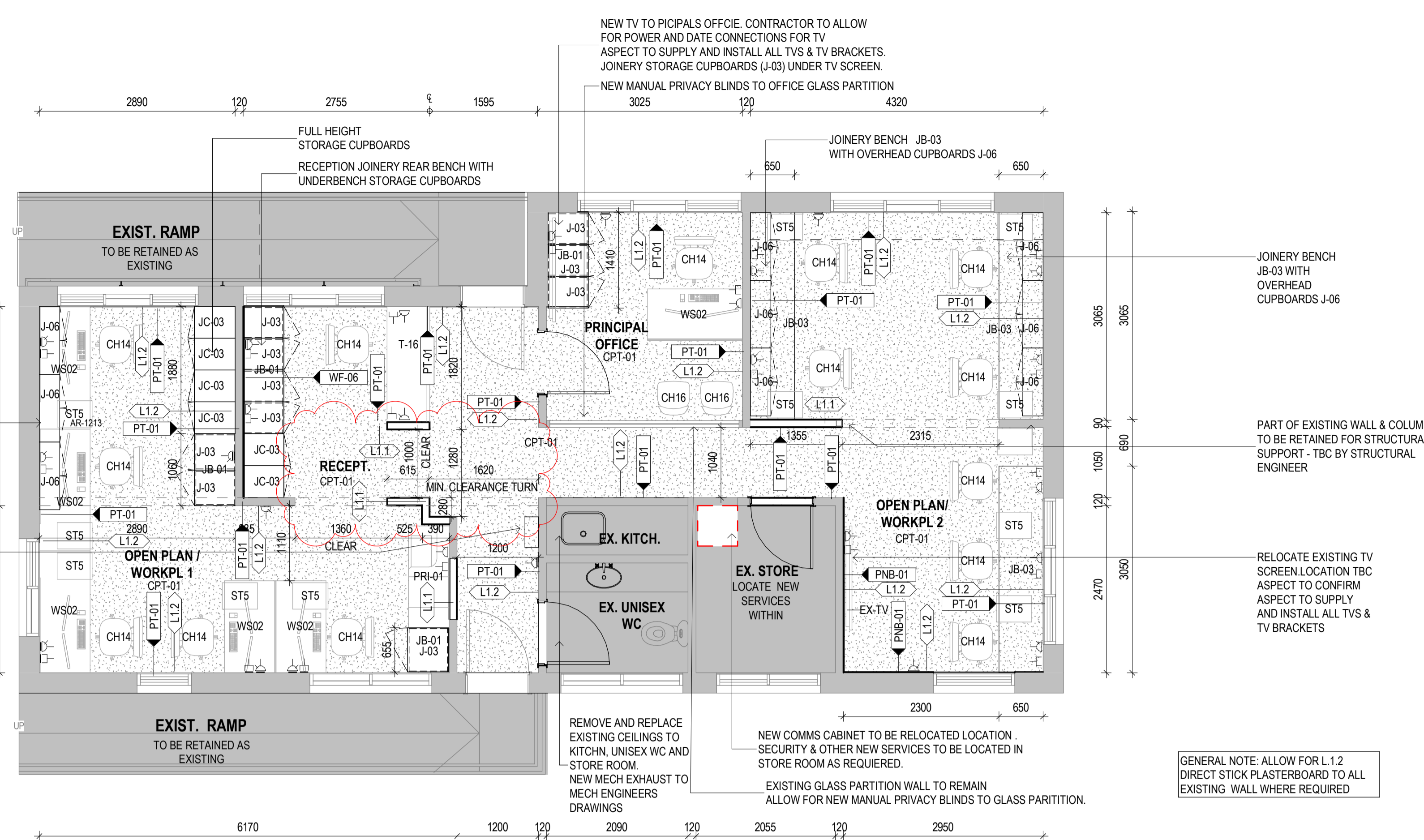
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DRAWING NUMBER

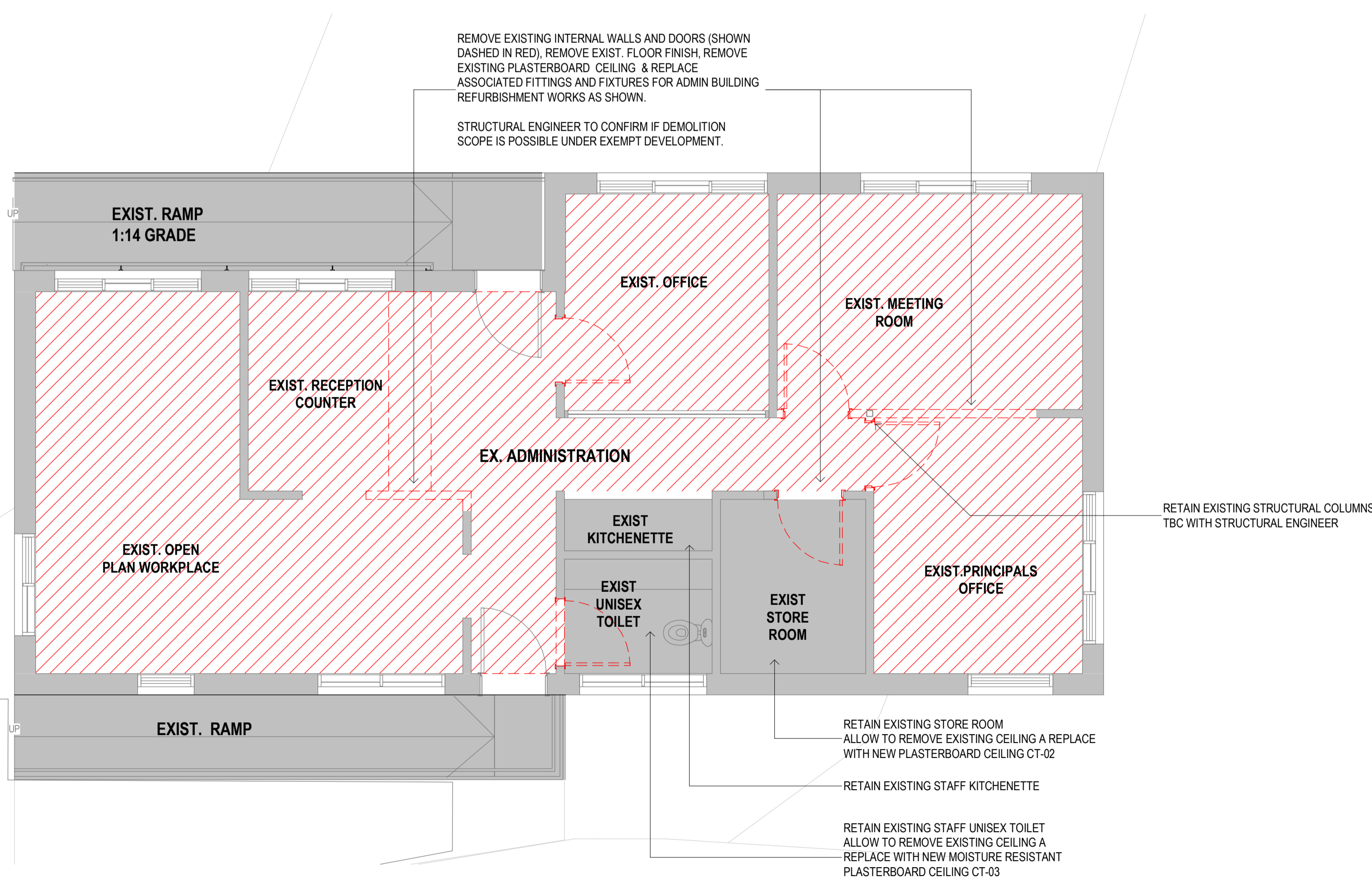
AR-1005

SCALE

1:50 @ A1



1 PROPOSED NEW ADMINISTRATION INTERNAL LAYOUT
AR-202 SCALE 1:50



2 EXISTING & PROPOSED DEMOLITION ADMINISTRATION BUILDING
AR-301 SCALE 1:50

1200 Series

ARCHITECTURE:

000	GENERAL INFORMATION
100	SITE INFORMATION
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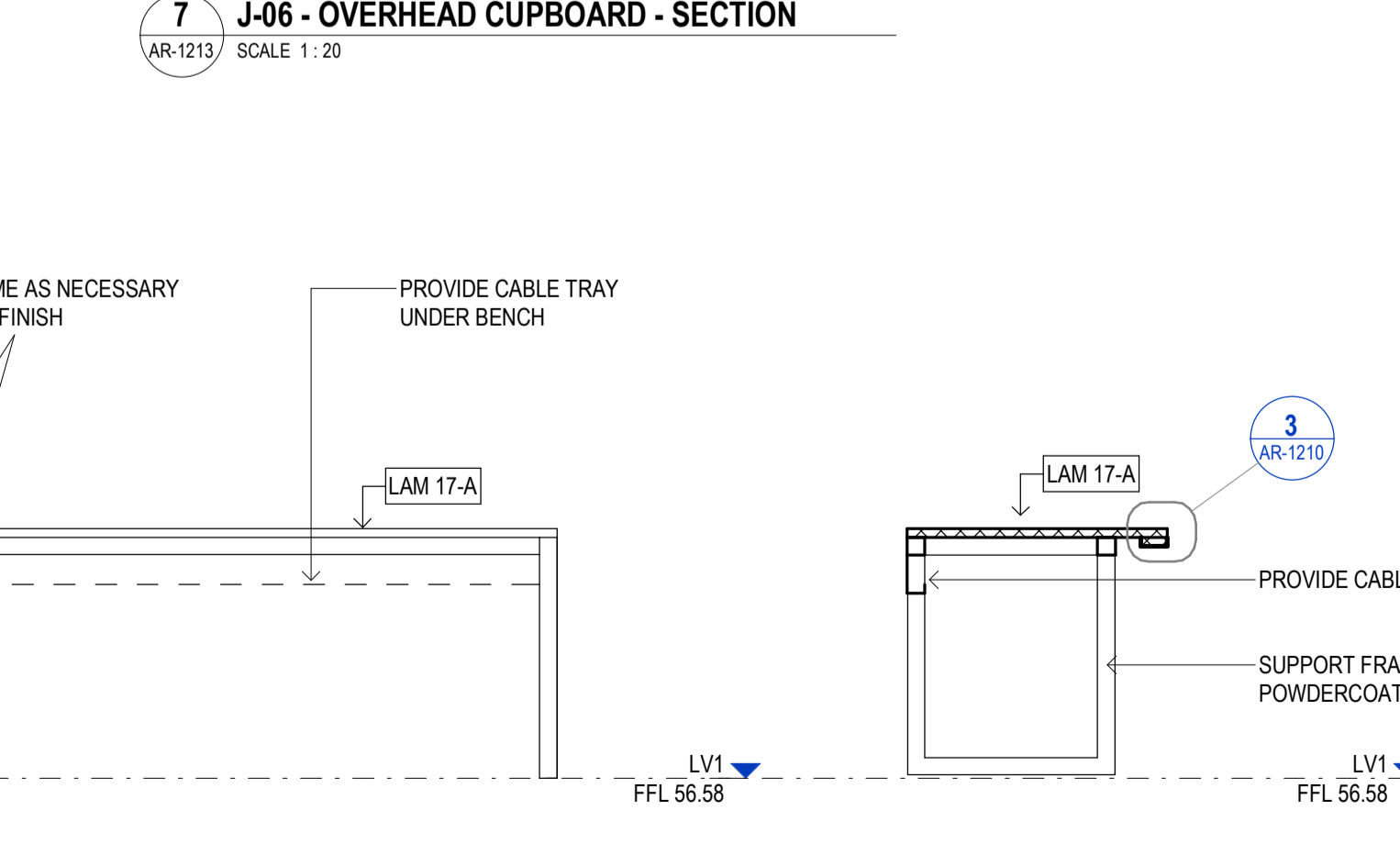
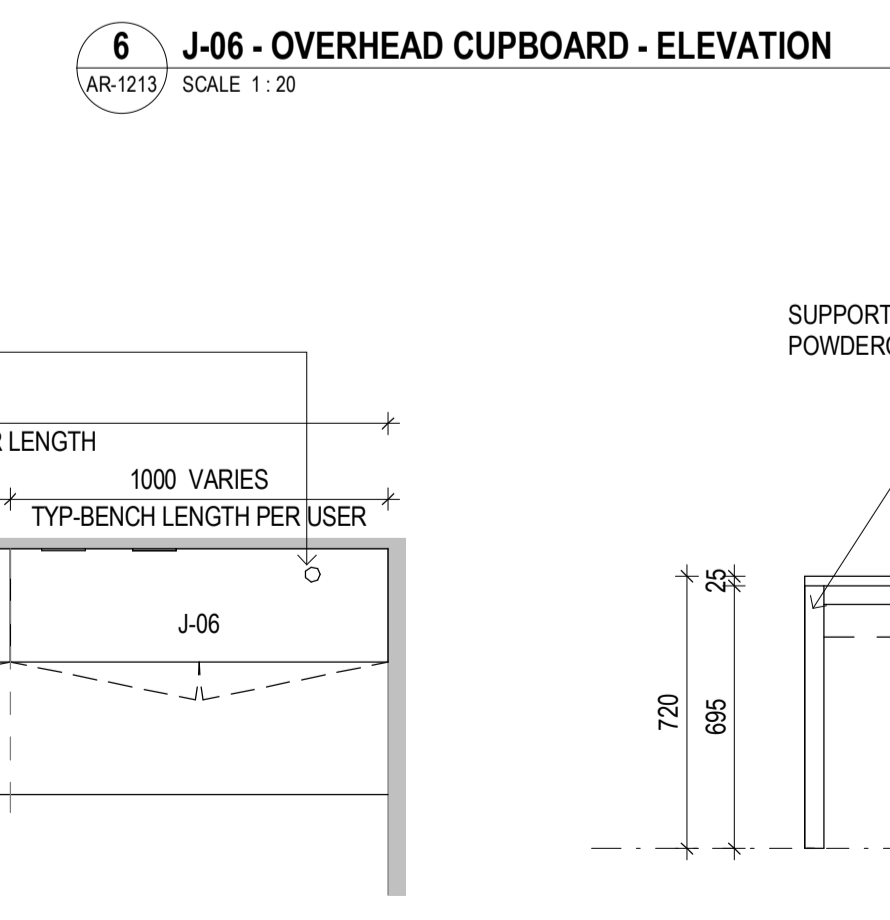
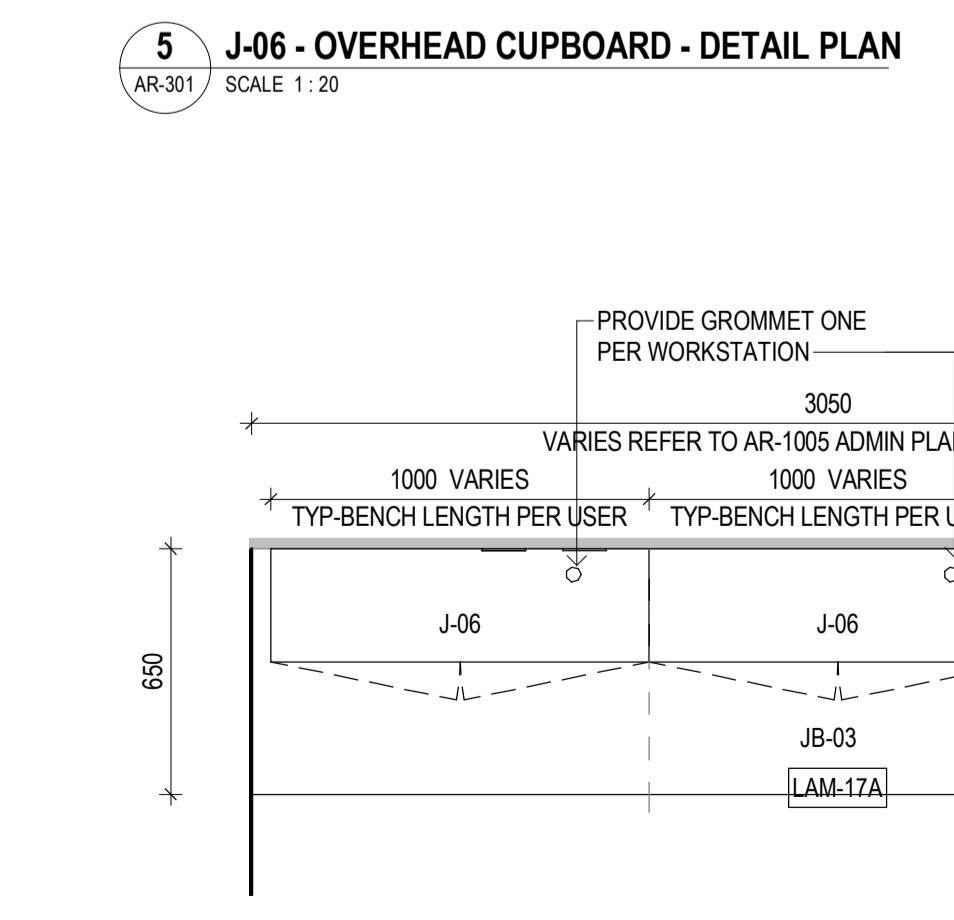
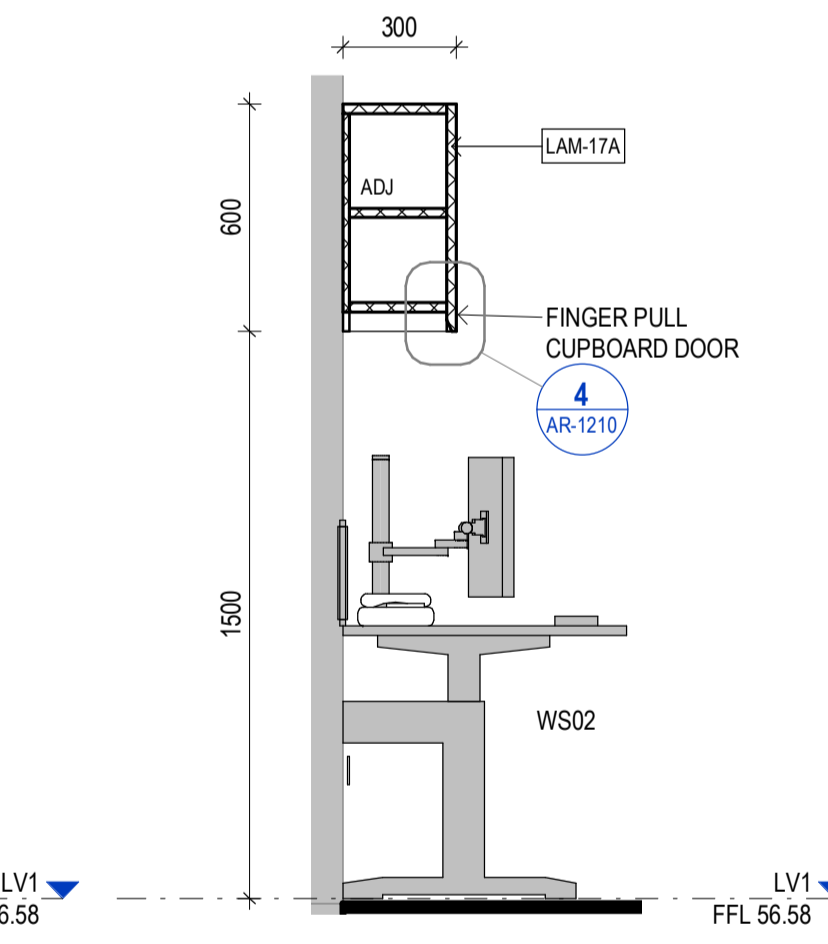
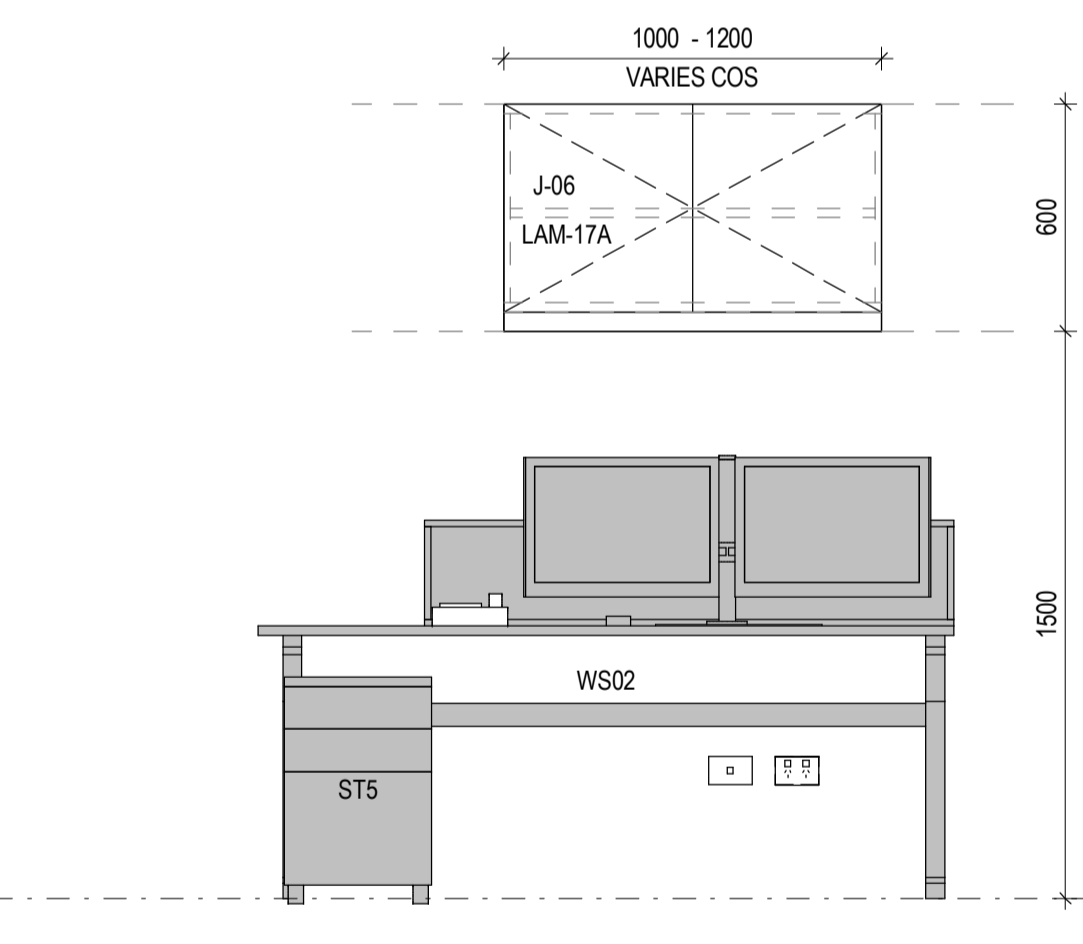
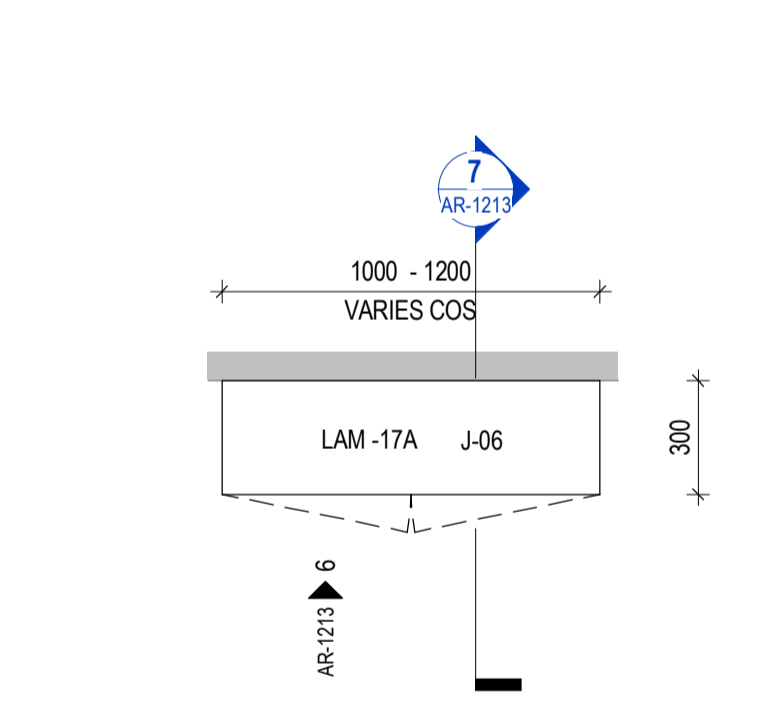
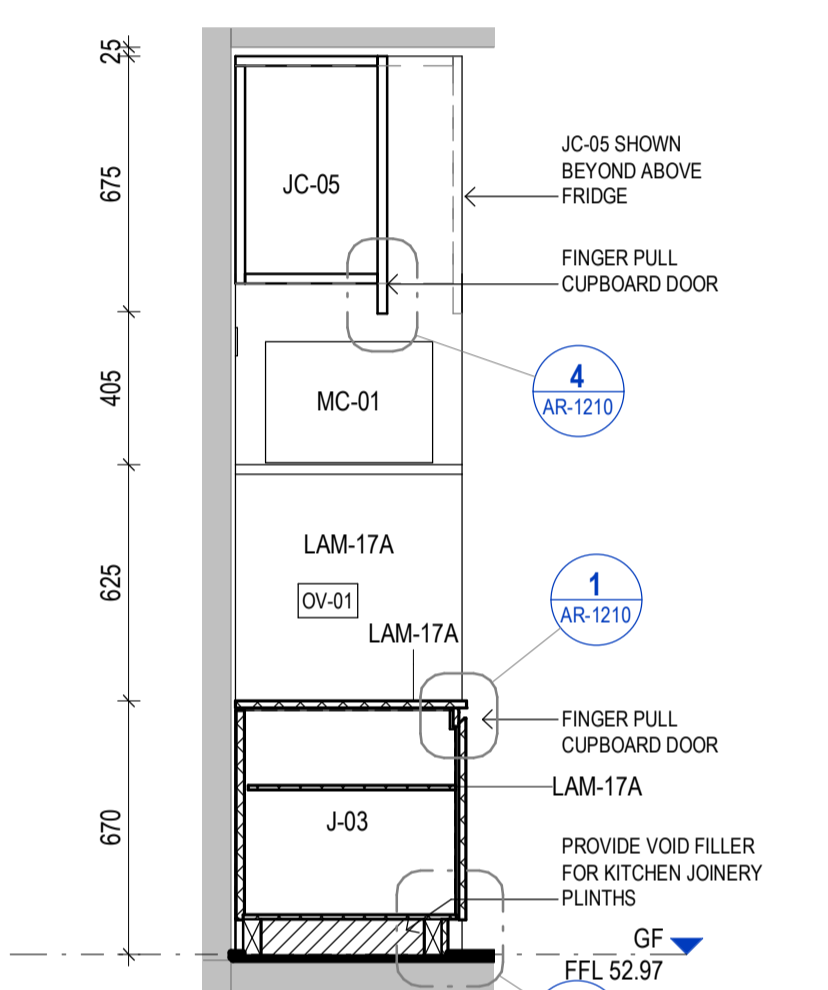
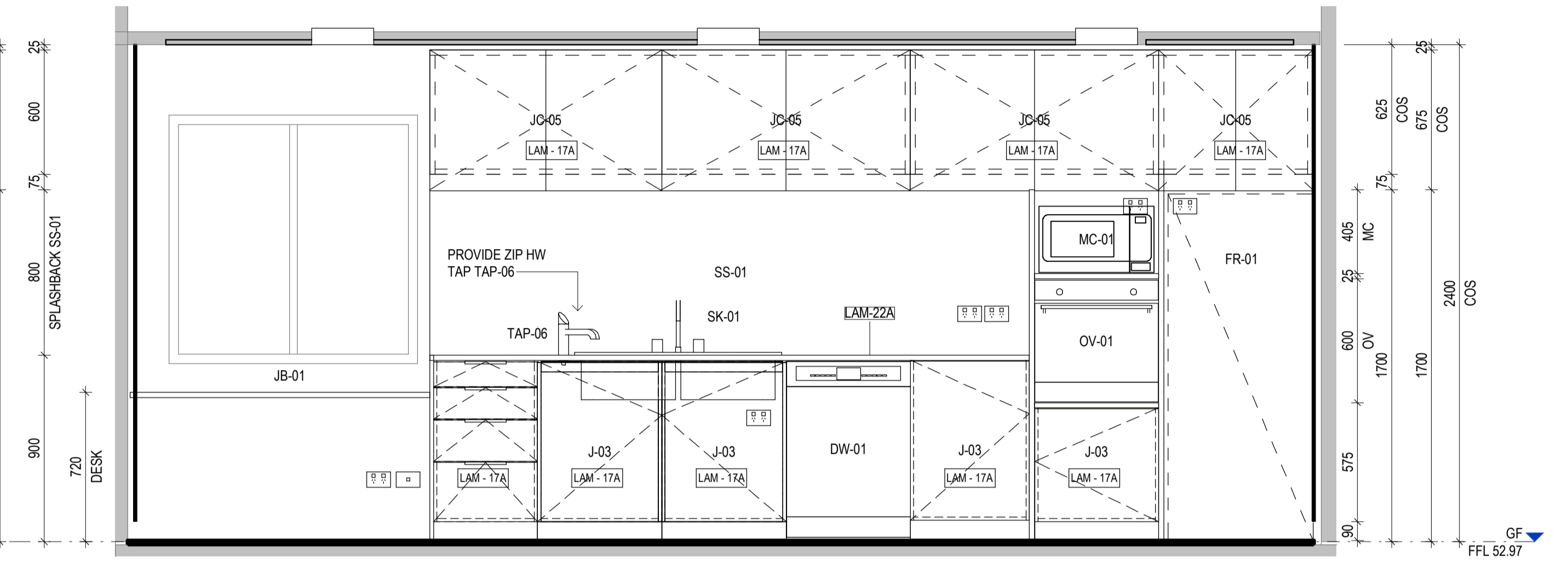
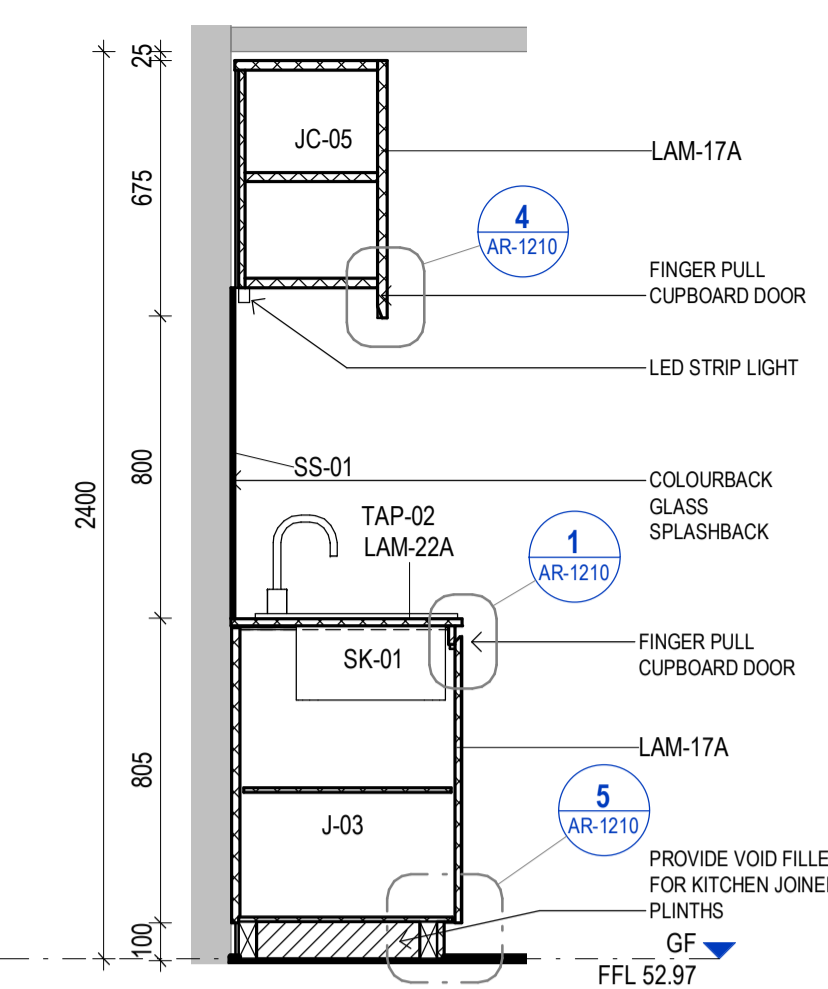
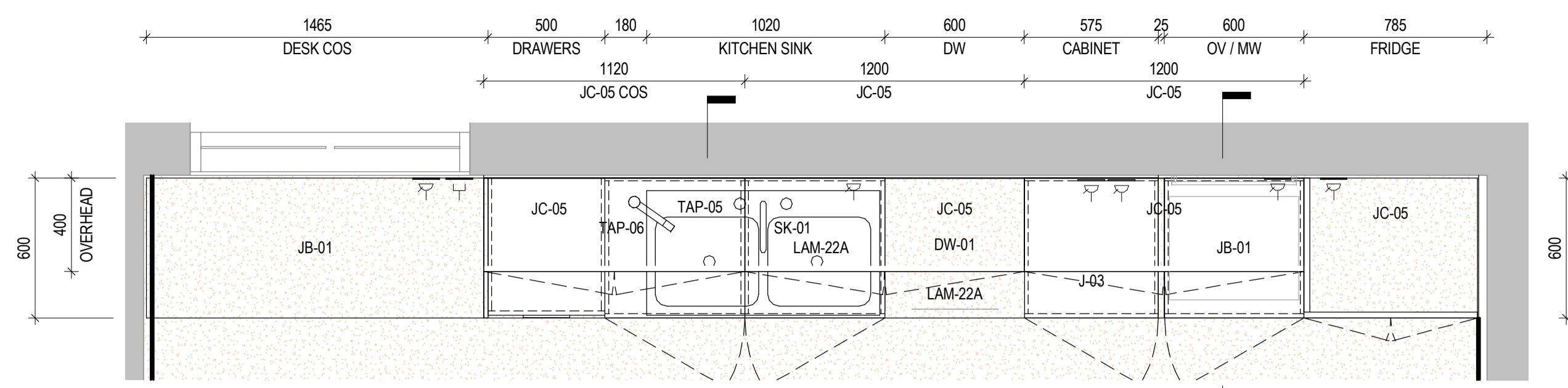
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- Contractors to use Architectural drawings for set out. Contractors to check and verify all dimensions on site prior to construction / fabrication.
- Figured dimensions govern, do not scale of drawings. Do not scale drawings.
- Any discrepancies should be immediately referred to the Project Manager.
- All work to comply with Federal and State legislation, National Construction Code (NCC), statutory authorities and relevant Australian Standards.
- Refer to general notes sheet & titlesheets for additional disclaimer notes.

- JOINERY NOTES:**
- CHECK ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION
 - CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION.
 - REFER ALL DISCREPANCIES TO ARCHITECT
 - CARCASSES TO BE CONSTRUCTED FROM 18MM WHITE MELAMINE FACED MDF UNLESS NOTED OTHERWISE. EDGES TO BE FINISHED WITH MATCHING STRIP OR AS DETAILED.
 - CUPBOARD DOORS TO BE CONSTRUCTED FROM 18MM MDF. EDGE FINISHES TO MATCH FACE UNLESS NOTED OTHERWISE. COLOUR AS DETAILED.
 - PROVIDE RUBBER DOOR BUMPER TO ALL CARCASSES.
 - ALL HINGES TO BE FULL OVERLAY 175 DEGREE OPENING. HINGES TO BE SELF CLOSING OVER LAST 30 DEGREES OF SWING.
 - 20mm SCRIBE PIECE TO ALL EDGES ADJACENT TO WALL AND 10mm SCRIBE TO CEILING WHERE APPLICABLE.
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH FINISHES & FF&E SCHEDULES
 - ALL LOCKS WITHIN JOINERY PIECE TO BE KEYPED ALIKE.
 - WHERE ADJUSTABLE SHELVING IS SPECIFIED - IT SHALL BE SUPPORTED ON STAINLESS STEEL PINS INSERTED INTO STAINLESS STEEL FERRULES AT 40mm CTS.
 - ALL ADJUSTABLE SHELVING SHALL BE THE FOLLOWING THICKNESS:

SPAN	THICKNESS
0mm - 750mm	18mm
750mm - 900mm	25mm
1000mm - 1200mm	32mm

KEYNOTE LEGEND	
CODE	DESCRIPTION
DW-01	DISHWASHER
J-03	JOINERY - UNDERBENCH CUPBOARD
J-06	JOINERY - OVERHEAD CUPBOARD
JB-01	JOINERY - BENCH
JB-03	JOINERY - COMPUTER DESK
JC-05	JOINERY - OVERHEAD CUPBOARD
LAM-17A	LAMINATE - TIMBER EFFECT
LAM-22A	LAMINATE - WHITE
MC-01	MICROWAVE - CONVECTION
OV-01	MULTI FUC. WALL OVEN
SK-01	SKIRTING - ALUMINIUM
SS-01	COLOURBACK GLASS SPLASHBACK
ST5	MOBILE PEDESTAL
TAP-06	WORKSTATION - LINEAR
WS02	WORKSTATION - LINEAR



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Nominated Architects
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Greenpoint
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Ph: 02 9170 7818
Email: mail@greenpointgroup.com.au
Web: www.greenpointgroup.com.au

CLIENT
autism spectrum AUSTRALIA
ASPECT AUTISM SPECTRUM

PROJECT
WESTERN SYDNEY CAMPUS UPGRADE

295 VICTORIA ST, WETHERILL PARK

DETAILS
DRAWN: Author
CHECKED: Checker
APPROVED: [Signature]
SCALE BAR: 1:100

TITLE
JOINERY DETAILS - KITCHEN - JK-01 & ADMIN J-05 & JB-03

DRAWING NUMBER: AR-1213
SCALE: 1:20 @ A1

1300 Series

ARCHITECTURE:

000	GENERAL INFORMATION
100	SITE INFORMATION
200	GENERAL ARRANGEMENT PLANS
400	GA RCP'S
700	WALL TYPES
1000	INTERIOR - SPECIAL AREAS
1100	WET AREAS
1200	INTERIOR DETAILS
1300	SCHEDULES

- NOTE:
- PRIOR ORDERING DOORS AND WHERE NEW DOOR LEAFS ARE BEING PROVIDED OR REPLACED ON TO EXISTING DOOR FRAMES, CONFIRM DOOR LEAF SIZE AND DIMENSIONS ON SITE.
 - TIGHT FITTING TO THE DOOR FRAME OR TO AN ABUTTING DOOR (IF APPLICABLE)
 - PROVIDED WITH WEATHER STRIPS, DRAUGHT EXCLUDERS OR DRAUGHT SEALS AT THE BASE OF SIDE-HUNG EXTERNAL DOORS
 - FIRE RATED DOORS PROVIDED WITH SEALS THAT SHALL NOT COMPROMISE THE FRL OR THE PERFORMANCE ACHIEVED IN AS1530.4 AS REQUIRED.
 - NEW HARDWARE TO ALL NEW DOORS. REFER TO HARDWARE SCHEDULE TO BE PROVIDED BY OTHERS.

LEGEND:

DOOR HARDWARE:	
BH	Butt Hinge
JH	Joinery Hinge
PH	Pivot Hinge
FB	Flush Bolts
PF	Patch Fitting
RS	Reed Switch
ES	Electric Strike
DS1	Door Stop, floor fixed
DS2	Door Stop, wall mounted
HND-1	Lever Handle
SC	Self Closing
LO	Lift Off Hinges
FG	Finger Guard
NH	New hardware to all new doors schedule by others

SEALS:

AS	Acoustic Seal
FS	Fire Rated Seal
SS	Smoke Seal
WS	Weather Seal

NOTES:

DG	Door Grille
FXG	Fixed Glass
KP	Kick Plate
UC	Undercut door
VP	View Panel
LH	Left Handed
RH	Right Handed
EX	Existing

MATERIALS:

(REFER TO FINISHES SCHEDULE)	
AN	Anodised
GV	Galvanised
PC	Powder Coated
PT	Paint Finish
LAM	Laminate Finish
WB	Whiteboard Finish
PNB	Pinboard Finish
ZA	Zincanneal
ST1	Stainless Steel, grade 301
ST2	Stainless Steel, grade 304
ST3	Stainless Steel, grade 316
TR	Translucent Interlayer
FLM-03	Window Film
ML-02	Bushfire Mesh

DOOR TYPE:

SDH1	Single leaf, solid core, hinged. Painted finish
SCL1	WC partition door, single leaf, solid core, hinged. 13mm compact laminate
DDH1	Double leaf, solid core, hinged. Painted finish - One leaf 920mm wide.
GLS1	Single leaf, hinged, aluminium framed & glazed. Powdercoat finish.
GLS2	Single leaf, hinged, steel framed & glazed.
GLD1	Double leaf, hinged, aluminium framed & glazed. Powdercoat finish
FRS1	Single leaf, BAL-FZ /30/- fire rated, hinged. Painted finish
FRS2	Single leaf, BAL-FZ /60/30 fire rated, hinged. Painted finish
FRS3	Single leaf, BAL-FZ fire rated & tested to AS 1530.8.2, hinged. Painted finish
FRD1	Double leaf, BAL-FZ /30/- fire rated, hinged. Paint finish
SG1	Palisade fence single gate. Powdercoated finish
SG2	Bushfire mesh single gate.
DG1	Palisade fence double gate. Powdercoated finish
DG2	Solid fence double gate. Paint finish

FRAME TYPE:

AL-04	Pressed double rebated aluminium frame to suit door leaf as scheduled. Frame width to match wall thickness.
MF-01	Proprietary 1 hour fire rated pressed double rebated steel frame to suit door leaf as scheduled. Frame width to match wall thickness.

DOOR SCHEDULE

DOOR NUMBER	LOCATION ROOM NAME	TYPE	DOOR DESCRIPTION	Fire Rating	DOOR LEAF			DOOR FRAME		HARDWARE				COMMENTS		
					HEIGHT	WIDTH	THICKNESS	FINISH 1	TYPE	FINISH 1	SET	HINGES	SEALS		STOPS	
D.0.01	GLA 1	SDH1	Single leaf, flush panel, solid timber core door	N/A	2040	920	40	PT-05	Existing	EX	PT-12	NH	BH	FS,WS	FG, DS1	RETAIN EXISTING DOOR LEAFS. ALLOW TO MAKE GOOD AND REPAIR
D.0.02	GLA 1	SDH1	Single leaf, flush panel, solid timber core door	N/A	2040	820	40	PT-07	Existing	EX	PT-12	NH	BH			
D.0.03	STAFF MULTI PURPOSE	DDH1	Cat and Kitten, flush panel, solid timber core door	N/A	2040	1540	35	PT-08	Existing	EX	PT-12	NH	BH	FS,WS	FG	RETAIN EXISTING DOOR LEAFS. ALLOW TO MAKE GOOD AND REPAIR
D.0.04	EX. STAFF FEMALE WC	SDH1	Single leaf, flush panel, solid timber core door	N/A	2040	870	40	PT-08	Existing	EX	PT-12	NH	BH	FS,WS		RETAIN EXISTING DOOR LEAFS. ALLOW TO MAKE GOOD AND REPAIR
D.0.05	EX. STAFF FEMALE WC	SDH1	Single leaf, flush panel, solid timber core door	N/A	2040	820	40	PT-12	Existing	EX	PT-12	NH	BH			UC
D.0.06	EX. STAFF FEMALE WC	SDH1	Single leaf, flush panel, solid timber core door	N/A	2040	770	40	PT-08	Existing	EX	PT-12	NH	BH			UC
D.0.07	EX. STAFF FEMALE WC	SDH1	Single leaf, flush panel, solid timber core door	N/A	2040	770	40	PT-08	Existing	EX	PT-12	NH	BH			UC
D.0.08	LAUNDRY	SDH1	Single leaf, flush panel, solid timber core door	N/A	2040	820	40	PT-08	Existing	EX	PT-12	NH	BH	FS,WS		RETAIN EXISTING DOOR LEAFS. ALLOW TO MAKE GOOD AND REPAIR
D.0.09	EX. STORE	SDH1	Single leaf, flush panel, solid timber core door	N/A	2040	820	40	PT-08	Existing	EX	PT-12	NH	BH			
D.0.10	MALE STAFF TOILET	SDH1	Single leaf, flush panel, solid timber core door	N/A	2040	820	40	PT-08	Existing	EX	PT-12	NH	BH	FS,WS		RETAIN EXISTING DOOR LEAFS. ALLOW TO MAKE GOOD AND REPAIR
D.0.11	EX. STAFF ROOM	DDH1	Cat and Kitten, flush panel, solid timber core door	N/A	2040	1480	35	PT-07	Existing	EX	PT-12	NH	BH	FS,WS	FG, DS1	RETAIN EXISTING DOOR LEAFS. ALLOW TO MAKE GOOD AND REPAIR
D.0.12	EX. GLA 2	DDH1	Cat and Kitten, flush panel, solid timber core door	N/A	2040	1480	35	PT-06	Existing	EX	PT-12	NH	BH	FS,WS	FG, DS1	RETAIN EXISTING DOOR LEAFS. ALLOW TO MAKE GOOD AND REPAIR
D.0.13	EX. GLA 3	DDH1	Cat and Kitten, flush panel, solid timber core door	N/A	2040	1480	35	PT-05	Existing	EX	PT-12	NH	BH	FS,WS	FG, DS1	RETAIN EXISTING DOOR LEAFS. ALLOW TO MAKE GOOD AND REPAIR
D.0.14	EX. GIRLS WC/SHR	SDH1	Single leaf, flush panel, solid timber core door	N/A	2040	920	40	PT-10	Existing	EX	PT-12	NH	BH	FS,WS	FG, DS1	RETAIN EXISTING DOOR LEAFS. ALLOW TO MAKE GOOD AND REPAIR
D.0.15	EX. GIRLS WC	SCL1	Single leaf, flush panel, solid timber core door	N/A	1800	735	40	PT-10	Aluminium	AL-04	PC-01	NH	BH			UC
D.0.16	GIRLS WC/SHR	SDH1	Single leaf, flush panel, solid timber core door	N/A	2040	1020	40	PT-10	Steel	AL-04	PC-01	NH	LO		DS1	UC
D.0.17	EX. BOYS WC/SHR	SDH1	Single leaf, flush panel, solid timber core door	N/A	2040	920	40	PT-11	Existing	EX	PT-12	NH	BH	FS,WS	FG, DS1	RETAIN EXISTING DOOR LEAFS. ALLOW TO MAKE GOOD AND REPAIR
D.0.18	BOYS AMB WC	SCL1	Single leaf, flush panel, solid timber core door	N/A	1800	735	40	LAM	Aluminium	AL-04	PC-01	NH	BH		DS2	
D.0.19	BOYS WC	SCL1	Single leaf, flush panel, solid timber core door	N/A	1800	635	40	LAM	Aluminium	AL-04	PC-01	NH	BH		DS2	
D.0.20	EX. GLA 4	DDH1	Cat and Kitten, flush panel, solid timber core door	N/A	2040	1480	35	PT-05	Existing	EX	PT-12	NH	BH	FS,WS	FG, DS1	RETAIN EXISTING DOOR LEAFS. ALLOW TO MAKE GOOD AND REPAIR
D.0.21	EX. WC 1	SDH1	Single leaf, flush panel, solid timber core door	N/A	2040	920	40	PT-05	Existing	EX	PT-12	NH	BH		FG, DS1	UC
D.0.22	EX. GLA 5	DDH1	Cat and Kitten, flush panel, solid timber core door	N/A	2040	1480	35	PT-06	Existing	EX	PT-12	NH	BH	FS,WS	FG, DS1	RETAIN EXISTING DOOR LEAFS. ALLOW TO MAKE GOOD AND REPAIR
D.0.23	EX. GLA 6	DDH1	Cat and Kitten, flush panel, solid timber core door	N/A	2040	1480	35	PT-07	Existing	EX	PT-12	NH	BH	FS,WS	FG, DS1	RETAIN EXISTING DOOR LEAFS. ALLOW TO MAKE GOOD AND REPAIR
D.0.24	EX. WC 2	SDH1	Single leaf, flush panel, solid timber core door	N/A	2040	920	40	PT-07	Existing	EX	PT-12	NH	BH		FG, DS1	UC
D.0.25	MALE STAFF TOILET	SCL1	Single leaf, flush panel, solid timber core door	N/A	1800	735	40	PT-08	Aluminium	EX	PT-12	NH	BH			
D.1.01	CORRIDOR	SDH1	Single leaf, flush panel, solid timber core door	N/A	2040	920	40	PT-08	Existing	EX	PT-12	NH	BH	FS,WS		
D.1.02	PRINCIPAL OFFICE	SDH1	Single leaf, flush panel, solid timber core door	N/A	2040	920	40	PT-08	Existing	EX	PT-12	NH	BH			
D.1.04	CORRIDOR	SDH1	Single leaf, flush panel, solid timber core door	N/A	2040	920	40	PT-08	Existing	EX	PT-12	NH	BH	FS,WS		
D.1.05	EX. STAFF WC	SDH1	Single leaf, flush panel, solid timber core door	N/A	2040	920	40	PT-08	Existing		PT-12	NH	BH			
D.1.06	EX. STORE	SDH1	Single leaf, flush panel, solid timber core door	N/A	2040	920	40	PT-08	Existing	EX	PT-12	NH	BH			

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- Figured dimensions govern, do not scale of drawings. Do not scale drawings.
- Any discrepancies should be immediately referred to the Project Manager.
- All work to comply with Federal and State legislation, National Construction Code (NCC), statutory authorities and relevant Australian Standards.
- Refer to general notes sheet & titlesheets for additional disclaimer notes.

No	DATE	REVISIONS	BY
A	27/06/2022	CONCEPT PHASE - PRELIMINARY ISSUE FOR REVIEW	PA
1	02/03/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE	PA
2	22/03/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE	PA
3	17/04/2023	PRE-CONSTRUCTION SET - ISSUE FOR CO-ORDINATION AND REVIEW - UPDATE	PA

ARCHITECT


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Nominated Architects

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BUILDER

 Suite 4, 82-86 Pacific Highway ST LEONARDS 2065
Ph: 02 9170 7818
Email: mail@greenpointgroup.com.au
Web: www.greenpointgroup.com.au

CLIENT

 ASPECT AUTISM SPECTRUM

PROJECT

WESTERN SYDNEY CAMPUS UPGRADE

295 VICTORIA ST, WETHERILL PARK

DETAILS

DRAWN PA
CHECKED PA
APPROVED

TITLE

DOOR SCHEDULE

DRAWING NUMBER

AR-1300

SCALE

As indicated @ A1

APPENDIX B – Property Documents



FOLIO: 8/230076

SEARCH DATE	TIME	EDITION NO	DATE
-----	----	-----	----
23/3/2023	10:21 AM	1	22/5/1990

LAND

LOT 8 IN DEPOSITED PLAN 230076
AT WETHERILL PARK
LOCAL GOVERNMENT AREA FAIRFIELD
PARISH OF ST LUKE COUNTY OF CUMBERLAND
TITLE DIAGRAM DP230076

FIRST SCHEDULE

THE COUNCIL OF THE MUNICIPALITY OF FAIRFIELD

SECOND SCHEDULE (2 NOTIFICATIONS)

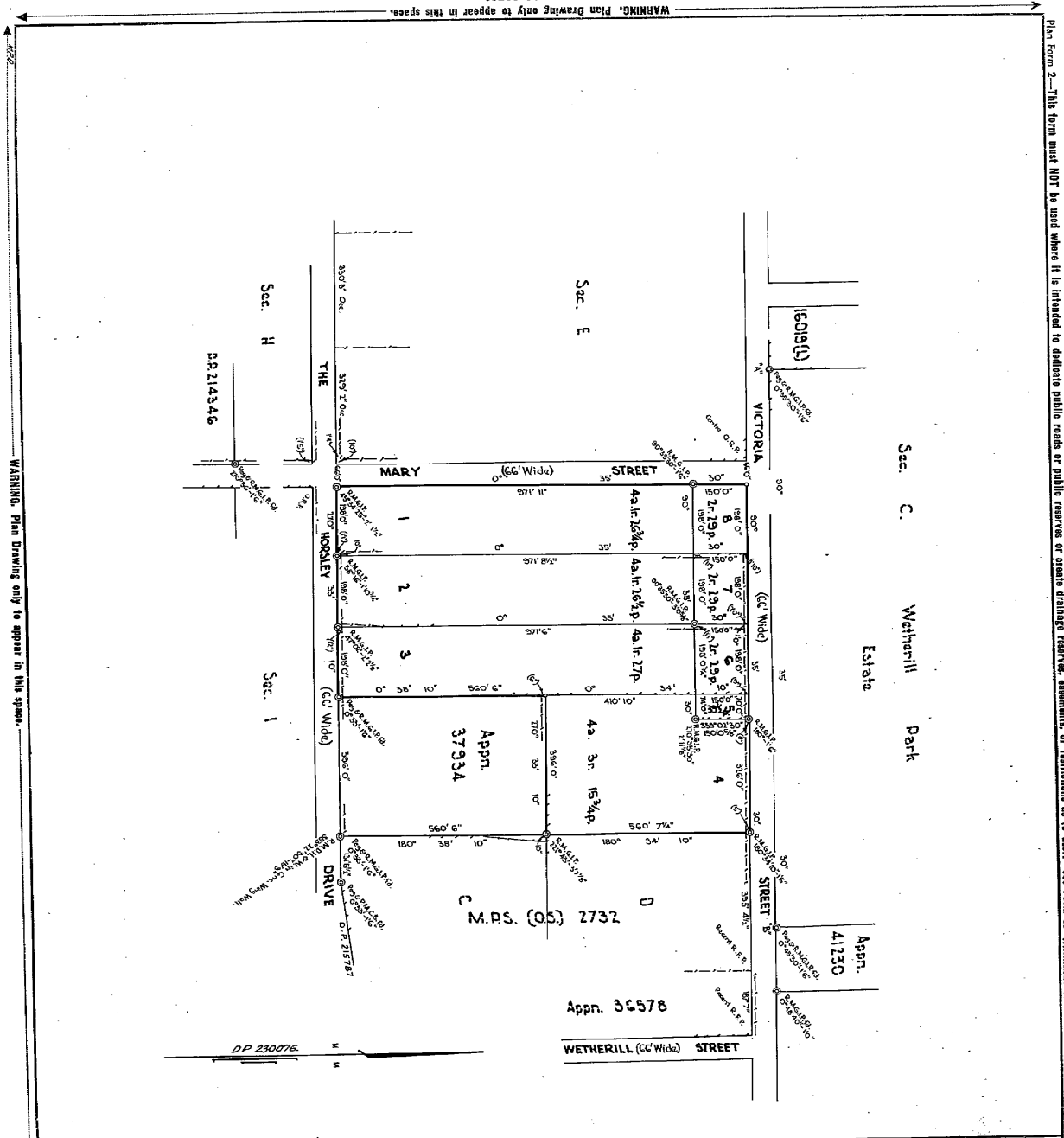
- 1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- 2 Z9565 LEASE TO AUTISTIC ASSOCIATION OF NEW SOUTH WALES.
EXPIRES 1.10.2088

NOTATIONS

UNREGISTERED DEALINGS: NIL

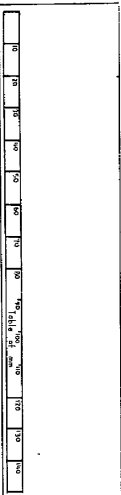
*** END OF SEARCH ***

SB 2273R
 37005594



WARNING: Plan Drawing only to appear in this space.

Plan Form 2—This form must NOT be used where it is intended to dedicate public roads or public reserves or create drainage reserves, easements, or restrictions as to use—See Form 3. WARNING: GRASSHOP OR FOLDING WILL LEAD TO REJECTION.



I, Bruce Richard Davies, Registrar General for New South Wales, certify that this negative is a photograph made on a permanent record of a document in my custody, this 15th day of March, 1977.



DP 230076

Registered: *M. H. 40.095*

CA: *Old System*

Thin System: *Resumption*

Purpose: *Darish*

Lot: *43412*

Lot Plan: *MPS (03) 2732*

PLAN OF Subdivision of lots 6, 7, 8 and part of lots 4, 5, Section D, 43410

Scale: 100 feet to an inch

Min./Shear: *74*

City: *Fairfield*

Locality: *Wetherill Park*

Parish: *Shiloh*

County: *Campania*

William Walker (Stepman)

Sydney

A person registered under the Statutes and 1976, as amended, has duly verified that the survey represented by this plan is accurate and has been made: (a) by an authorised person; (b) in accordance with the provisions of the Statutes and 1976, as amended; (c) in accordance with the provisions of the Statutes and 1976, as amended; (d) in accordance with the provisions of the Statutes and 1976, as amended.

Signature: *M. H. 40.095*

Date: *15/3/77*

Survey File of Admin. No. 1766 is amended.

Council Clerk's Certificate:

I hereby certify that:—

(a) the requirements of the Land Government Act 1975 have been complied with for the registration of this plan; and

(b) the requirements of section 228 of the Municipalities Act 1958, as amended, have been complied with by the applicant in relation to the proposed: (insert "new road" or "subdivision" as the case may be).

Subdivision No. _____

Date: _____

Signature: _____

Council Clerk: _____

SB 2273R

DP 230076

FEET INCHES	METRES
2	0.091
2	0.152
6	0.203
9	0.229
10	0.254
11	0.279
11	0.305
11	0.330
11	0.356
11	0.432
5	0.447
1	0.578
1	0.610
2	0.664
2	0.692
2	0.822
0	1.095
0	1.481
12	20.117
70	21.336
74	22.555
131	40.069
5	1/2
150	45.720
157	51.726
158	60.350
159	60.359
326	99.265
329	100.330
830	100.650
895	120.510
410	120.701
410	120.712
860	129.282
860	171.872
971	296.113
971	296.177
971	296.240
11	SO M
AC RD P	822
36 1/2	822
38 1/2	879.1
2 29	2757
AC RD P	HA
4 1 28 1/2	1.787
4 1 28 3/4	1.788
4 1 27	1.788
4 3 15 3/4	1.952

* Strike out either (1) or (2). † Insert date of survey.

OFFICE USE ONLY.

CONVERSION TABLE ADOPTED IN REGISTRATION DEPARTMENT

APPENDIX C – Bushfire Statement

From: Catherine Gorrie <catherine@bfcs.com.au>
Sent: Friday, March 17, 2023 9:10 AM
To: Victoria Minter <victoria.minter@constructionassignments.com>
Subject: RE: Aspect Western Sydney

Hi Victoria

Thanks for your email. There are no bushfire requirements for internal works. I hope this helps,

Kind Regards

Catherine Gorrie

(a person who is recognised by the NSW Rural Fire Service as a suitably qualified consultant in bush fire risk assessment)

Accredited Bushfire Planning and Design Practitioner

Fire Protection Association Australia BPAD-Level 3 (BPAD 20751)

Grad Dip Bushfire Protection (UWS 2010)

Diploma Environmental Health & Building Surveying (TAFE 2005)

Corporate Silver Member Fire Protection Association Australia



Bushfire Consulting Services Pty Ltd
PO Box 1020
Penrith NSW 2751
ACN. 161 040 295
Tel: 02 4744 5800
Mob: 0425 833 893
www.bfcs.com.au

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APPENDIX D – BCA Assessment Letter

E-Memo

	Name	Company	Email address
To:	Victoria Minter	Construction Assignments	victoria.minter@constructionassignments.com
From:	Joel Lewis	MBC Group	jlewis@mbc-group.com.au
Date:	18 April 2023	Ref:	23000228
Re:	Proposed works – Administration Building Aspect Autism Spectrum Western Sydney Campus 295 Victoria Stret, Wetherill Park NSW 2164		

MBC Group were engaged to undertake an assessment of the proposed works in relation to accessibility compliance at the above mentioned address.

MBC Group have reviewed architectural design documents prepared by DesignInc (refer appendix A) for compliance with the National Construction Code - Building Code of Australia Volume One 2019 Amendment 1 and AS1428.1-2009.

It is noted that the extent of the review is in relation to the proposed works only, existing measures have not been included as part of the assessment.

The proposed scope, other than the above items, generally complies with the provision of the BCA and AS1428.1-2009.

Should you have any queries, please feel free to contact me directly.

Regards,



Joel Lewis
Director

Appendix A – Architectural Drawings Reviewed

Drawing No.	Title	Drawn By	Revision
AR-001	COVER SHEET & DRAWING REGISTER	DesignInc Pty Ltd	6
AR-002	GENERAL NOTES	DesignInc Pty Ltd	1
AR-100	SITE PLAN SITE PLAN	DesignInc Pty Ltd	2
AR-110	DEMOLITION PLAN -GLA & STAFF BUILDING	DesignInc Pty Ltd	3
AR-111	DEMOLITION PLAN -ADMIN BUILDING LEVEL	DesignInc Pty Ltd	2
AR-201	GENERAL LAYOUT -GROUND FLOOR GLA BUILDING PLAN	DesignInc Pty Ltd	3
AR-202	GENERAL LAYOUT -ADMIN BUILDING LEVEL PLAN	DesignInc Pty Ltd	4
AR-220	FF&E -GROUND FLOOR PLAN	DesignInc Pty Ltd	2
AR-221	FF&E -LEVEL 1 PLAN	DesignInc Pty Ltd	3
AR-401	GENERAL CEILING -RCP PLANS	DesignInc Pty Ltd	2

Appendix E – Waste Management Plan

WASTE MANAGEMENT PLAN

A Waste Management Plan details how you intend to manage waste generated during the demolition and construction stage of your project as well as the waste generated from the ongoing use of the development. This form must be completed and submitted to Fairfield City Council with your Development Application and indicate what waste will be generated and how much, how waste will be avoided, reused on site, recycled and disposed and how you intend to keep disposal of waste to a minimum.

Proposal			
1. Site address			
House / unit no.	Lot:	Section:	DP / SP:
Street:			
Suburb:			
2. Buildings and other structures on site. Please indicate what is on the site now.			
3. Description of proposal. Please indicate what you intend to do on the land.			

Details of waste management – demolition phase

MATERIALS ON SITE			DESTINATION		
			Reuse and recycling		Disposal
Type of materials	Estimated volume (m ² or m ³)	Estimated weight (t)	On-site Specify proposed reuse or on-site recycling methods	Off-site Specify contractor and recycling outlet	Specify contractor and landfill site
Excavated materials					
Green waste					
Bricks					
Tiles					
Concrete					
Fibro					
Plasterboard					
Asbestos					
Metals - please specify :					
Timber - please specify :					
Other waste - please specify (eg. paints, PVC tubing, cardboard):					

Details of waste management – construction phase

MATERIALS ON SITE			DESTINATION		
			Reuse and recycling		Disposal
Type of materials	Estimated volume (m ² or m ³)	Estimated weight (t)	On-site Specify proposed reuse or on-site recycling methods	Off-site Specify contractor and recycling outlet	Specify contractor and landfill site
Excavated materials					
Green waste					
Bricks					
Tiles					
Concrete					
Fibro					
Plasterboard					
Metals - please specify :					
Timber - please specify :					
Other waste - please specify (eg. paints, PVC tubing, cardboard):					

Applicants details, checklist and consent

Checklist required for your Waste Management Plan :

- Have you provided applicant's name, address and phone number ?
 - Have you noted the structures currently on site and details of your proposal ?
 - Have you specified each material to be used on site ?
 - Have you identified any hazardous and toxic materials (eg: asbestos) and complied with SafeWork NSW requirements ?
 - Have you specified who your recycling and waste contractors will be ?
 - Have you estimated how much general waste will be produced on your site ?
 - Have you provided accurate measures of general waste ?
 - Have you made sure not to over order on materials ?
 - Have you investigated returning waste to the supplier (eg: plasterboard) ?
 - Have you maximised recycling and reuse of materials ?
 - Have you specified your recycling and/or landfill (if any) destinations ?
- I/we declare that all the information and details provided are correct as to how I/we intend to manage waste during this project.

Title:	<input type="checkbox"/> Mr <input type="checkbox"/> Mrs <input type="checkbox"/> Ms <input type="checkbox"/> Miss <input type="checkbox"/> Other	
Name:		
Company (if applicable):		
Address:		
		Postcode:
Contact details:	Home:	Mobile:
	Work:	Fax:
E-mail:		
Signature:		Date:

More information

For more information, please contact Council's Duty Officer between 8:30am and 4:30pm at Fairfield City Council's Administration Centre or by telephone 9725-0222.

Appendix F – Section 10.7 Certificate

23/03/2023

**InfoTrack
GPO Box 4029
SYDNEY NSW 2000**

Dear Sir/ Madam,

Following is your planning certificate as requested. Should you have any further queries please contact Council on (02) 9725 0821.

PLANNING CERTIFICATE

(under section 10.7 of the Environmental Planning and Assessment Act 1979 as amended)

Applicant:	InfoTrack
Certificate No.:	1055/2023
Applicant's Reference:	EC2255-#113737236#
Issue Date:	23/03/2023
Receipt No.:	

PROPERTY ADDRESS:	295 Victoria Street WETHERILL PARK NSW 2164
LEGAL DESCRIPTION:	Lot: 8 DP: 230076



**Marcus Rowan
MANAGER STRATEGIC LAND USE PLANNING**

PLEASE NOTE: This is page 1 of 26. Should this certificate or any subsequent copy not contain this many pages, please confirm with Council prior to acting on the basis of information contained in this certificate under Section 10.7(2) & (5) and inclusive of Flood Information Sheet.

Information provided under Section 10.7(2) of the Environmental Planning and Assessment Act 1979

Notes:

- (1) The following prescribed matters may apply to the land to which this certificate relates.
 - (2) Where this certificate refers to a specific allotment (or allotments) within a strata plan, the certificate is issued for the whole of the land within the strata plan, not just the specific allotment(s) referred to, and any information contained in the certificate may relate to the whole, or any part, of the strata plan.
 - (3) The following information is provided pursuant to Section 10.7(2) of the Environmental Planning and Assessment Act 1979 as prescribed by Schedule 3 of the Environmental Planning and Assessment Regulation 2021 and is applicable as at the date of this certificate.
 - (4) Information provided in this certificate should be interpreted in conjunction with the relevant plans, policies and documents held at Council. In order to obtain copies of these documents you may purchase them by either contacting Council on (02) 9725 0821 or attending Council's Administration Centre at 86 Avoca Road, Wakeley.
-

1. Names of relevant planning instruments and development control plans

- (1) The name of each environmental planning instrument and development control plan that applies to the carrying out of development on the land.

State Environmental Planning Policies (SEPP)

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

State Environmental Planning Policy (Transport and Infrastructure) 2021

State Environmental Planning Policy (Biodiversity and Conservation) 2021

State Environmental Planning Policy (Primary Production) 2021

State Environmental Planning Policy (Resilience and Hazards) 2021

State Environmental Planning Policy (Industry and Employment) 2021

State Environmental Planning Policy (Resources and Energy) 2021

State Environmental Planning Policy (Planning Systems) 2021

State Environmental Planning Policy (Precincts – Western Parkland City) 2021

State Environmental Planning Policy (Housing) 2021

State Environmental Planning Policy (Exempt and Complying Development Codes) 2008

State Environmental Planning Policy No 65 – Design Quality of Residential Apartment Development

Regional Environmental Plans (Deemed SEPP)

There is no Regional Environmental Plan applying to this land.

Local Environmental Plans (LEP)

**Fairfield Local Environmental Plan 2013
Published on NSW Legislation Website: 17/05/2013.
In Force from: 31/05/2013.
As Amended.**

Development Control Plans (DCP)

The land is subject to adopted Development Control Plans. (See attached schedule).

- (2) The name of each proposed environmental planning instrument and draft development control plan, which is or has been the subject of community consultation or on public exhibition under the Act that will apply to the carrying out of development on that land.

Draft State Environmental Planning Policies (SEPP)

There is no draft SEPP applying to this land.

Draft Local Environmental Plan (LEP)

Fairfield Local Environmental Plan 2013 (Amendment No.46). The amendment aims to: (a). Rezone certain land and/or amend development standards for certain land in the Fairfield, Cabramatta, Canley Vale and Carramar centres and in adjoining residential areas in Canley Vale and Carramar (if applicable, details are provided under section 2 of this planning certificate below); (b). Increase the floor space ratio and height of building under certain circumstances in Zone R3 Medium Density Residential in the eastern part of the City; (c). Replace clause 6.4 - Floodplain Risk Management with a new standard flood clause 5.22 - Special Flood Considerations; and (d). List four new local heritage items in Schedule 5 Environmental Heritage. Council's Outcomes Committee at its meeting held on 14 June 2022 resolved to endorse the above changes inclusive of the new land use zonings and associated development standards. Amendment No.46 will come into effect once further endorsed and implemented by the NSW Department of Planning and Environment on the NSW Legislation website.

Draft Development Control Plan (DCP)

No Draft DCP applies

- (3) Subclass (2) does not apply in relation to a proposed environmental planning instrument or draft development control plan if –

- a) It has been more than 3 years since the end of the public exhibition period for the proposed instrument or draft plan, or
- b) for a proposed environmental planning instrument – the Planning Secretary has notified the council that the making of the proposed instrument has been deferred indefinitely or has not been approved.

None relevant.

- (4) In this section, ***proposed environmental planning instrument*** means a draft environmental planning instrument and includes a planning proposal for a local environmental plan.

2. Zoning and land use under relevant planning instruments

The following matters for each environmental planning instrument or draft environmental planning instrument that includes the land in any zone, however described –

(a) what is the identity of the zone,

R2 Low Density Residential

(b) the purposes for which development in the zone

(i) may be carried out without development consent

Environmental protection works; Home-based child care; Home occupations.

(ii) may not be carried out except with development consent

Attached dwellings; Bed and breakfast accommodation; Building identification signs; Business identification signs; Centre-based child care facilities; Community facilities; Dual occupancies; Dwelling houses; Educational establishments; Emergency services facilities; Exhibition homes; Exhibition villages; Flood mitigation works; Group homes; Health consulting rooms; Hospitals; Hostels; Information and education facilities; Oyster aquaculture; Places of public worship; Pond-based aquaculture; Public administration buildings; Recreation areas; Respite day care centres; Roads; Secondary dwellings; Semi-detached dwellings; Seniors housing; Tank-based aquaculture

(iii) is prohibited

Any other development not specified in item b(i) or b(ii).

- c) whether any additional uses apply to the land,

There are no additional uses permitted with consent.

- d) whether any development standards applying to the land fix minimum land dimensions for the erection of a dwelling house on the land and, if so, the fixed minimum land dimensions,

No development standards that fix the minimum land dimensions for the erection of a dwelling house apply to this land. Controls in other policies and plans may apply.

- (e) whether the land is in an area of outstanding biodiversity value under the *Biodiversity Conservation Act 2016*,

No.

- (f) whether the land is in a conservation area, however described,

No

- (g) whether an item of environmental heritage, however described, is located on the land.

No.

Attention is drawn however to Clause 5.10(5) of Fairfield Local Environmental Plan 2013:

"The consent authority may, before granting consent to any development:

(a) on land on which a heritage item is located, or

(b) on land that is within a heritage conservation area, or

(c) on land that is within the vicinity of land referred to in paragraph (a) or (b),

require a heritage management document to be prepared to assess the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned."

3. Contributions plans

- (1) The name of each contributions plan under the Act, Division 7.1 applying to the land, including draft contributions plans.

Fairfield City Council indirect (Section 7.12) Development Contributions Plan 2011 applies to all land within the City of Fairfield.

Fairfield City Council direct (Section 7.11) Development Contributions Plan 2011 applies to this land.

- (2) If the land is in a special contributions area under the Act, Divisions 7.1, the name of the area.

None.

4. Complying development

- (1) If the land is land on which complying development may be carried out under each of the complying development codes under *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008* because of that Policy clause 1.17A (1) (c)- (e), (2), (3) or (4), 1.18 (1)(c3) or 1.19.

Housing Code:

Complying development under the Housing Code may not be carried out as the land is reserved for a public purpose.

Rural Housing Code:

No. The Rural Housing Code does not apply to this land.

Low Rise Housing Diversity Code:

Complying development under the Low Rise Housing Diversity Code may be carried out on the land.

Housing Alterations Code:

Complying development under the Housing Alterations Code may be carried out on the land.

General Development Code:

Complying development under the General Development Code may be carried out on the land.

Industrial and Business Alterations Code:

Complying development under the Industrial and Business Alterations Code may be carried out on the land.

Industrial and Business Buildings Code:

No. The Industrial and Business Buildings Code does not apply to the land.

Container Recycling Facilities Code:

No. The Container Recycling Facilities Code does not apply to the land.

Subdivisions Code:

Complying development under the Subdivision Code may be carried out on the land.

Demolition Code:

Complying development under the Demolition Code may be carried out on the land.

Fire Safety Code:

Complying development under the Fire Safety Code may be carried out on the land.

Agritourism Code:

No. The Agritourism Code does not apply to the land.

- (2) If complying development may not be carried out on the land because of one of those clauses, the reasons why it may not be carried out under the clause.

None relevant.

- (3) If the council does not have sufficient information to ascertain the extent to which complying development may or may not be carried out on the land, a statement that –
- (a) a restriction applies to the land, but it may not apply to all of the land, and
 - (b) the council does not have sufficient information to ascertain the extent to which complying development may or may not be carried out on the land.

Council does not have any relevant statement to make in relation to any further restrictions that may apply to complying development being carried out on the land. All information in relation to the extent that complying development can be carried out on the land is provided under Part 4(1) & (2) of this certificate.

Note: Part 4(1) and (2) refers only to land based exclusions as listed in Clauses 1.17A (1) (c) to (e), (2), (3) and (4), 1.18 (1) (c3) and 1.19 of the SEPP (Exempt and Complying Development Codes) 2008. To be complying development, the development must be complying development that meets the standards and other requirements specified for that development as required by the SEPP. Please contact your accredited certifier or Council for further information.

- (4) If the complying development codes are varied, under that Policy, clause 1.12, in relation to the land.

The Housing Code is varied in its application by omitting clauses 3.16(1(a) and 4 and 3.23(3).

5. Exempt development

- (1) If the land is land on which exempt development may be carried out under each of the exempt development codes under the *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008* because of that Policy, clause 1.16(1)(b1)–(d) or 1.16A.

Yes - exempt development may be carried out on the land.

- (2) If exempt development may not be carried out on the land because of one of those clauses, the reasons why it may not be carried out under the clause.

Not applicable

- (3) If the council does not have sufficient information to ascertain the extent to which exempt development may or may not be carried out on the land, a statement that—
- (a) a restriction applies to the land, but it may not apply to all of the land, and

Restrictions apply to carrying out exempt development on the land or part of the land as it is identified as being bush fire prone land. Refer to the SEPP (Exempt and Complying Development Codes) 2008 for further information.

- (b) the council does not have sufficient information to ascertain the extent to which exempt development may or may not be carried out on the land.

To be exempt development, the development must meet the requirements and criteria specified under the SEPP (Exempt and Complying Development Codes) 2008 that can be viewed on the NSW Legislation Website at www.legislation.nsw.gov.au/browse/inforce.

- (4) If the exempt development codes are varied, under that Policy, clause 1.12, in relation to the land.

None.

6. Affected building notices and building product rectification orders

- (1) Whether the council is aware that –
- (a) an affected building notice is in force in relation to the land, or
 - (b) a building product rectification order is in force in relation to the land that has been fully complied with, or
 - (c) a notice of intention to make a building product rectification order given in relation to the land is outstanding.
- (2) In this section –
affected building notice has the same meaning as in the Building Products (Safety) Act 2017, Part 4.
building product rectification order has the same meaning as in the Building Products (Safety) Act 2017.

None relevant.

7. Land reserved for acquisition

Whether an environmental planning instrument or proposed environmental planning instrument referred to in section 1 makes provision in relation to the acquisition of the land by an authority of the State, as referred to in the Act, section 3.15.

The land is not reserved for acquisition under Fairfield Local Environmental Plan 2013.

8. Road widening and road realignment

Whether the land is affected by road widening or road realignment under-

- (a) the *Roads Act* 1993, Part 3, Division 2, or
- (b) an environmental planning instrument, or
- (c) a resolution of the council.

The land is not affected by any road widening proposal under Division 2 of Part 3 of the *Roads Act* or Fairfield Local Environmental Plan 2013.

Adjoining land is subject to proposed road closure. For further details please apply in writing to Council's City Services Department.

9. Flood related development controls

- (1) If the land or part of the land is within the flood planning area and subject to flood related development controls.

Based on the information currently available to Council, the land is not within the flood planning area. However, this is subject to future flood studies and reviews.

Mainstream Flooding

Based on the information currently available to Council, this land is not affected by mainstream flooding. However, this is subject to future flood studies and reviews.

Overland Flooding

Based on the information currently available to Council, this land is not affected by overland flooding. However, this is subject to future flood studies and reviews.

- (2) If the land or part of the land is between the flood planning area and the probable maximum flood and subject to flood related development controls.

Based on the information currently available to Council, the land is not between the flood planning area and the probable maximum flood. However, this is subject to future flood studies and reviews.

Note: The flood information is the current information to date. However, Council reviews flood studies on an on-going basis and new information may become available in future. Please contact Council's Catchment Planning Division on 9725 0222 for any updated information.

-
- (3) In this clause –

flood planning area has the same meaning as the Floodplain Development Manual.
Floodplain Development Manual means the *Floodplain Development Manual* (ISBN 0 7347 5476 0) published by the NSW Government in April 2005.
probable maximum flood has the same meaning as in the Floodplain Development Manual.

10. Council and other public authority policies on hazard risk restrictions

- (1) Whether any of the land is affected by an adopted policy that restricts the development of the land because of the likelihood of land slip, bush fire, tidal inundation, subsidence, acid sulfate soils, contamination, aircraft noise, salinity, coastal hazards, sea level rise or another risk, other than flooding.

Policies on hazard risk restrictions are as follows:

(i) Landslip

The land is not affected by a policy adopted by Council or adopted by any other public authority and notified to Council (for the express purpose of its adoption by that authority being referred to in Planning Certificates issued by Council) that restricts development on the land because of the likelihood of landslide risk or subsidence.

(ii) Bushfire

Council has been supplied by the NSW Rural Fire Service with a hazard map for the purposes of a bush fire risk management plan applying to land within the Fairfield local government area. Based on that map, it appears the land referred to in this certificate is bush fire prone as defined in Part 4 of the Environmental Planning and Assessment Act 1979. Council is also required to have regard to the guidelines "Planning for Bushfire Protection" (published by the NSW Rural Fire Service and Planning NSW) or comments provided by the NSW Rural Fire Service pursuant to s.4.14 of the Environmental Planning and Assessment Act 1979 (as amended) which may place restrictions or special requirements on development of the site in relation to the bushfire affectation.

(iii) Tidal Inundation

No.

(iv) Subsidence

No, the land is not so affected

(v) Acid Sulfate Soils

The land is not affected by a policy adopted by Council or adopted by any other public authority and notified to Council (for the express purpose of its adoption by that authority being referred to in Planning Certificates issued by Council) that restricts development on the land because of the likelihood of acid sulfate soils.

(vi) Contamination

The provisions of Section 3.6 - Land Contamination of the Fairfield City Wide DCP applies to all land in the Fairfield Local Government Area. Under State Government planning legislation, this requires Council to take into consideration the potential for contamination of land when a development application or a rezoning proposal is considered by Council, having regard to current or previous uses of the land

(vii) **Aircraft Noise**

None relevant

(viii) **Salinity**

A Council adopted policy -No 67. Building in saline environments applies to the land.

(ix) **Coastal hazards**

None relevant.

(x) **Sea level rise**

None relevant.

(xi) **Any other risks**

No, the land is not so affected

(2) In this section—

adopted policy means a policy adopted—

- (a) by the council, or
- (b) by another public authority, if the public authority has notified the council that the policy will be included in a planning certificate issued by the council.

11. Bush fire prone land

- (1) If any of the land is bush fire prone land, designated by the Commissioner of the NSW Rural Fire Service under the Act, section 10.3, a statement that all or some of the land is bush fire prone land.
- (2) If none of the land is bush fire prone land, a statement to that effect.

Council has been supplied by the NSW Rural Fire Service with a hazard map for the purposes of a bush fire risk management plan applying to land within the Fairfield local government area. Based on that map, it appears the land referred to in this certificate is bush fire prone as defined in Part 4 of the Environmental Planning and Assessment Act 1979. Council is also required to have regard to the guidelines "Planning for Bushfire Protection" (published by the NSW Rural Fire Service and Planning NSW) or comments provided by the NSW Rural Fire Service pursuant to s.4.14 of the Environmental Planning and

Assessment Act 1979 (as amended) which may place restrictions or special requirements on development of the site in relation to the bushfire affectation.

12. Loose-fill asbestos insulation

If the land includes any residential premises, within the meaning of the *Home Building Act 1989, Part 8, Division 1A*, that are listed on the register kept under that Division, a statement to that effect.

Not Applicable.

13. Mine Subsidence

Whether the land is declared to be a mine subsidence district, within the meaning of the *Coal Mine Subsidence Compensation Act 2017*.

No, this land is not affected.

14. Paper subdivision information

(1) The name of any development plan adopted by a relevant authority that –
(a) applies to the land, or
(b) is proposed to be subject to a ballot.

(2) The date of any subdivision order that applies to the land.

(3) Words and expressions used in this section have the same meaning as in this Regulation, Part 10 and the Act, Schedule 7.

No such plan or order applies to the land.

15. Property vegetation plans

If the land is land in relation to which a property vegetation plan approved and in force under the *Native Vegetation Act 2003, Part 4*, a statement to that effect, but only if the council has been notified of the existence of the plan by the person or body that approved the plan under that Act.

No.

16. Biodiversity stewardship sites

If the land is a biodiversity stewardship site under a biodiversity stewardship agreement under the *Biodiversity Conservation Act 2016, Part 5*, a statement to that effect, but only if the council has been notified of the existence of the agreement by the the Biodiversity Conservation Trust.

Note: "Biodiversity stewardship agreements include biobanking agreements under the *Threatened Species Conservation Act 1995, Part 7A* that are taken to be biodiversity stewardship agreements under the *Biodiversity Conservation Act 2016, Part 5*.

No such agreement applies to the land.

17. Biodiversity certified land

If the land is biodiversity certificate land under the *Biodiversity Conservation Act 2016*, Part 8, a statements to that effect.

Note : Biodiversity certified land includes land certified under the *Threatened Species Conservation Act*, Part 7AA that is taken to be certified under the *Biodiversity Conservation Act 2016, Part 8*.

The land is not biodiversity certified land.

18. Orders under Trees (Disputes between Neighbours) Act 2006

Whether an order has been made under the *Trees (Disputes between Neighbours) Act 2006* to carry out work in relation to a tree on the land, but only if the council has been notified of the order.

No

19. Annual charges under Local Government Act 1993 for coastal protection services that relate to existing coastal protection works

(1) If the *Coastal Management Act 2016* applies to the council, whether the owner, or a previous owner, of the land has given written consent to the land being subject to annual charges under the *Local Government Act 1993*, section 496B, for coastal protection services that relate to existing coastal protection works.

(2) In this section –
existing coastal protection works has the same meaning as in the *Local Government Act 1993*, section 553B.
Note – Existing coastal protection works are works to reduce the impact of coastal hazards on land, such as seawalls, revetments, groynes and beach nourishment, that existing before 1 January 2011.

No annual charges under section 553B of the *Local Government Act 1993*, are applicable to the land.

20. Western Sydney Aerotropolis

Whether under *State Environmental Planning Policy (Precincts – Western Parkland City) 2021*, Chapter 4 the land is –

(a) in an ANEF or ANEC contour of 20 or greater as referred to in clause 19 of that Chapter, section 4.17, or

No

(b) shown on the Lighting Intensity and Wind Shear Map, or

No

(c) shown on the Obstacle Limitation Surface Map, or

No

(d) in the “public safety area” on the Public Safety Area Map, or

No

(e) in the “3 kilometre wildlife buffer zone” or the “13 kilometre wildlife buffer zone” on the Wildlife Buffer Zone Map.

No

21. Development consent conditions for seniors housing

If *State Environmental Planning Policy (Housing) 2021*, Chapter 3, Part 5 applies to the land, any conditions of a development consent granted after 11 October 2007 in relation to the land that are of the kind set out in that Policy, clause 88(2).

None.

22. Site compatibility certificates and development consents for affordable rental housing

(1) Whether there is a current site compatibility certificate under *State Environmental Planning Policy (Housing) 2021*, or a former site compatibility certificate, of which the council is aware, in relation to proposed development on the land and, if there is a certificate—

- (a) the period for which the certificate is current, and
- (b) that a copy may be obtained from the Department.

None.

(2) If *State Environmental Planning Policy (Housing) 2021*, Chapter 2, Part 2, Division 1 or 5 applies to the land, any conditions of a development consent in relation to the land that are of a kind referred to in that Policy, clause 21(1) or 40(1).

None.

(3) Any conditions of a development consent in relation to land that are of a kind referred to in *State Environmental Planning Policy (Affordable Rental Housing) 2009*, clause 17(1) or 38(1).

None.

(4) In this section—

former site compatibility certificate means a site compatibility certificate issued under *State Environmental Planning Policy (Affordable Rental Housing) 2009*.

Note: The following matters are prescribed by section 59 (2) of the Contaminated Land Management Act 1997 as additional matters to be specified in a planning certificate.

- (a) that the land to which the certificate relates is significantly contaminated land—if the land (or part of the land) is significantly contaminated land at the date when the certificate is issued,
- (b) that the land to which the certificate relates is subject to a management order—if it is subject to such an order at the date when the certificate is issued,
- (c) that the land to which the certificate relates is the subject of an approved voluntary management proposal—if it is the subject of such an approved proposal at the date when the certificate is issued,
- (d) that the land to which the certificate relates is subject to an ongoing maintenance order—if it is subject to such an order at the date when the certificate is issued,
- (e) that the land to which the certificate relates is the subject of a site audit statement—if a copy of such a statement has been provided at any time to the local authority issuing the certificate.

Continuously updated information in relation to the above matters can also be found by searching the records of the Environmental Protection Authority (EPA) at the website of the EPA. The search page can be found at: <http://www.epa.nsw.gov.au/prclmapp/searchregister.aspx>.

The following information is available to Council but may not be current:

The land is not within an investigation area or remediation site under Part 3 of the Contaminated Land Management Act 1997.

The land is not subject to a management order within the meaning of the Contaminated Land Management Act 1997.

The land is not subject to a Voluntary Management Proposal that is the subject of the Environment Protection Authority's agreement under Section 17 of the Contaminated Land Management Act 1997.

The land is not subject of a site audit statement within the meaning of the Contaminated Land Management Act 1997.

Note 2: Any advice received by Council pursuant to section 26(2) of the Nation Building and Jobs Plan (State Infrastructure Delivery) Act 2009, is included below.

No such certificate applies to the land.

**The following additional information is provided under
Section 10.7(5) of the Environmental Planning and Assessment Act 1979**

Note:

- (1) When information pursuant to section 10.7(5) is requested, the Council is under no obligation to furnish any of the information supplied herein pursuant to that section.
 - (2) Council draws your attention to section 10.7(6), which states that a Council shall not incur any liability in respect of any advice provided in good faith pursuant to subsection (5).
 - (3) The absence of any reference to any matter affecting the land shall not imply that the land is not affected by any matter not referred to in this certificate.
-

Cumberland Plain Critically Endangered Ecological Community - Contains or in Close Proximity to Community - Council is in receipt of information by the NSW National Parks and Wildlife Service indicating the land either contains or is in close proximity to an area possibly containing remnant vegetation associated with a Cumberland Plain Critically Endangered Ecological Community that is listed under the Biodiversity Conservation Act 2016 (NSW). On request Council will supply such information available from its records, however interested parties must take and rely on their own advice and enquiries.

Cumberland Plain Critically Endangered Ecological Community - Contains or in Close Proximity to Community with an Area Greater than 0.5 hectares and Tree Cover - Information from NSW National Parks and Wildlife Service indicates that the land either contains or is in close proximity to an area possibly containing remnant vegetation associated with a Cumberland Plain Critically Endangered Ecological Community. NPWS have identified the community as Cumberland Plain Woodland (Shale Hills Woodland, Shale Plains Woodland) that is listed as critically endangered under the Biodiversity Conservation Act 2016 (NSW).

NPWS mapping indicates that the remnant vegetation is part of an area that is greater than 0.5 hectares and has greater than 10% crown cover.

The land is subject to the provisions of the SEPP (Biodiversity and Conservation) 2021, Vegetation in non-rural areas which sets the rules for the clearing of native vegetation in NSW on land zoned for urban and environmental purposes that is not linked to a development application.

Land must not be cleared or filled except with the consent of Council.

Potential for Salinity - The applicant's attention is drawn to the Department of Infrastructure, Planning and Natural Resources map at the 1:100,000 scale 'Salinity Potential in Western Sydney 2002' that indicates there is potential for salinity in the Region. The map can be viewed at Council's Customer Service Centre (86 Avoca Road Wakeley).

Building In Saline Environments - Council's policy 'Building in Saline Environments', applies to all areas of Fairfield City and requires use of construction measures and materials in new development to minimise risk of salt damage to buildings from urban salinity.

Western Sydney Airport - On 15th April 2014, the Australian Government announced that it intends to proceed with an airport at Badgerys Creek in the Liverpool City Council area. The Western Sydney Airport draft Environmental Impact Statement (EIS) was released for public exhibition on Monday 19 October 2015. You should make your own enquiries with the Commonwealth Government Department responsible via the website <http://westernsydneyairport.gov.au/>.

Demolition of a building or work requires development consent under clause 2.7 of Fairfield Local Environmental Plan 2013.

There is no draft SEPP applying to this land.

FAIRFIELD CITY COUNCIL DEVELOPMENT CONTROL PLANS

Fairfield Citywide Development Control Plan

Title	Adopted by Council*	Effective Date
Fairfield Citywide Development Control Plan 2013	13 November 2012	31 May 2013
<u>Amendment No.1</u> change maximum height permissible for detached secondary dwellings, clarify requirements and correct various anomalies, incorporate outdoor dining policy into a number of site specific DCPs (see table below)	11 February 2014	5 March 2014
<u>Amendment No.2</u> amend chapter 2 to reference Site Specific DCP – Wetherill Park Market Town	20 March 2013	7 March 2014
<u>Amendment No.3</u> Introduce Chapter 4B - Secondary Dwellings in Rural Area - Horsley Park and Cecil Park	11 December 2013	14 March 2014
<u>Amendment No. 4</u> amends Chapter 9 Industrial Development Site Specific Controls for 449 Victoria Street and 96 Newton Road, Wetherill Park	24 September 2013	21 March 2014
<u>Amendment No.5</u> amends Chapters 2 and 10 and Appendix B to ensure provisions within the DCP are in line with the SEPP (Exempt and Complying Development Codes) 2008.	13 May 2014	28 May 2014
<u>Amendment No. 5A</u> amends Chapter 6A – Multi Dwelling Housing – Town house and Villas: Site Specific DCP – 46 & 50 Cobbett Street, Wetherill Park.	12 March 2013	22 August 2014
<u>Amendment No. 6</u> including increase to building heights for detached granny flats, removal of reference to minimum lot sizes for R1 zoned lands, inclusion of new controls and provisions relating to neighbourhood shops and pad mounted sub stations, clarify requirements and correct a number of anomalies associated with secondary dwellings, dual occupancy, narrow lots and residential flat buildings and other minor inconsequential amendments.	12 August 2014	3 September 2014
<u>Amendment No. 6A</u> amends Chapter 14 Subdivision – Applying to land located on 630 Elizabeth Drive and 9-10 Schubert Place, Bonnyrigg Heights to facilitate a future road link between Stivala Place and Schubert Place.	12 August 2014	3 September 2014
<u>Amendment No.7</u> proposed amendments include – Additional Controls for Child Care Centres, Boarding Houses and Granny Flats; Revised Heritage Chapter; New provisions relating to CCTV for specific land uses, and; Acoustic measures for development in the Rural Area.	25 November 2014	3 December 2014
<u>Amendment No. 7A</u> amends Chapter 10 Miscellaneous Development - applying to land located on 1 Bartley Street, Cabramatta to facilitate the development of a hotel or motel accommodation at the Cabravale Diggers site.	26 August 2014	16 January 2015
<u>Amendment 8</u> amends Chapter 9 – Industrial Development. This amendment includes provisions for industrial/employment development proposals in close proximity to residential land. The amended controls cover the following issues: General Design Requirements (including setback considerations, driveways, loading and storage areas, etc); Bulk and scale; Vehicular and Pedestrian Access Privacy; Light Spill; Noise and Vibration; and Landscaping.	10 March 2015	1 April 2015
<u>Amendment 9</u> includes new provisions relating to various forms of residential development including: Building Appearance, Landscaping, Private Open space, Minimum Lot Width, Car Parking Rates and Notification of S82A Applications.	12 May 2015	27 May 2015
<u>Amendment 10</u> including amendments to: <ul style="list-style-type: none"> • the intent of the Development Control Plan and Development Application process – the DA Guide • provisions for rural zone development • residential flat building setbacks • heritage advice • road classifications 	14 July 2015	5 August 2015
<u>Amendment No.11</u> includes site specific development controls (private open space, car parking and dwelling density) for 46-50 Cobbett Street, Wetherill Park included in Chapter 6A Multi Dwelling Housing – Townhouses and Villas.	1 December 2015	16 December 2015

<u>Amendment No. 12</u> addresses anomalies in the DCP including but not limited to providing clarity on minimum room sizes, updated acoustic proofing measures for new dwellings in rural areas, car parking rates for disabled parking, and provisions for site servicing and loading requirements in neighbourhood shops in residential zones.	10 May 2016	25 May 2016
<u>Amendment No. 13</u> Clarification to requirements for acoustic measures for development in the rural areas, location of alfresco areas for secondary dwellings, car parking rates for restaurants & amendments to ensure controls for residential flat buildings are consistent with the State Environmental Planning Policy No 65 – Design Quality of Residential Apartment Development & associated Apartment Design Guide.	14 March 2017	5 April 2017
<u>Amendment No. 14</u> Site specific provisions for 620 Elizabeth Drive, Bonnyrigg Heights.	27 June 2017	15 September 2017
<u>Amendment No. 15</u> Amendment to Appendix G, and addition of Appendix H to introduce Aboriginal Heritage Management controls for development across Fairfield City	12 September 2017	28 February 2018
<u>Amendment No. 16</u> Amendments provide clarity relating to alfresco areas and carports provisions for secondary dwellings, lot width provisions for dual occupancy and multi dwelling housing on cul-de-sac heads, setbacks for residential flat buildings on corner sites, removal of Chapter 8B Neighbourhood and Local Centres – Mixed Use (Up to 2 storeys) to ensure consistency with the Apartment Design Guide, inclusion of accessibility requirements, inclusion of Council's Stormwater Management Policy, and guidelines for acknowledging petitions.	27 February 2018	21 March 2018
<u>Amendment No. 18</u> Amendment to Chapter 10.11 to revise existing site specific DCP in relation to the Cabravale Diggers Club site at 1 Bartley Street, Canley Vale	14 November 2017	28 February 2018
<u>Amendment No. 19</u> Amendment to introduce site specific development controls for 17-23 Longfield Street, Cabramatta.	11 September 2018	28 February 2019
<u>Amendment No. 20</u> Amendment No. 20 provides clarity on controls and guidelines within the following chapters: <ul style="list-style-type: none"> • Chapter 3 – Environmental Management and Constraints; • Chapter 4A – Development in the Rural Zones; • Chapter 5A – Dwelling Houses; • Chapter 5B – Secondary Dwellings; • Chapter 6A – Multi Dwelling Housing; • Chapter 6B – Dual Occupancy; • Chapter 9 – Industrial Development; and • Chapter 14 – Subdivision 	12 February 2019	13 March 2019
<u>Amendment No. 22</u> Amendment No. 22 provides clarity on control and guidelines within the following chapters: <ul style="list-style-type: none"> • Appendix A – Definitions • Chapter 2 – Development Application Process • Chapter 3 – Environmental Management and Constraints • Chapter 5A – Dwelling Houses • Chapter 5B – Secondary Dwellings • Chapter 5C – Dwelling Houses on Narrow Lots • Chapter 7 – Residential Flat Buildings and Shop Top Housing • Chapter 8 – Neighbourhood and Local Centres Business Use • Chapter 12 – Car Parking, Vehicle and Access Management • Chapter 13 – Child Care Centres • Chapter 14 - Subdivision 	9 June 2020	21 September 2020

Place Based and Site Specific Development Control Plans

Title	Adopted by Council*	Effective Date
Bonnyrigg Town Centre DCP 2018	6 August 2019	4 September 2020
Cabramatta Town Centre DCP (5/2000) <ul style="list-style-type: none"> - <u>Amendment No.1</u> (Outdoor Dining Controls –5.3.2014) - <u>Amendment No. 2</u> (New clause regarding Model Submission – 3.09.2014) - <u>Amendment No. 3</u> (Amended clauses and map regarding Precinct 2- Dutton Lane Car Park) - <u>Amendment No. 4</u> (Precinct 4A – East side market square and station interface) 	10 May 2022	07 October 2022
Fairfield City Centre DCP 2013 <ul style="list-style-type: none"> - <u>Amendment No.1</u> (Outdoor Dining Controls – 5.3. 2014) - <u>Amendment No. 2</u> (Remove reference to Public Art Guide and update signage controls reference – 3.09.2014) - <u>Amendment No. 3</u> (removes reference to the Fairfield Art Strategy as Council has not formally adopted a Public Art Strategy) 	10 May 2016	25 May 2016
Canley Corridor DCP No.37 (2013) (Canley Vale and Canley Heights town centres) <ul style="list-style-type: none"> - <u>Amendment No.1:</u> (Development Controls for Adams Reserve 12.9.2006) - <u>Amendment No.2:</u> (Development Controls for 45-47 Peel St, Canley Heights 9.4.2008) - <u>Amendment No.3:</u> (Awnings controls 3.11.2010) - <u>Amendment No.4:</u> (Development Controls for 190 Canley Vale Rd, Canley Heights 19.4.2011) - <u>Amendment No.5:</u> (References to Fairfield LEP 2013 31.5.2013) - <u>Amendment No.6:</u> (Outdoor Dining Controls –5.3.2014) - <u>Amendment No. 7</u> (Remove reference to Public Art Guide – 3.09.2014) - <u>Amendment No. 8</u> (Include 46 Derby Street, Canley Heights into Town Centre Catchment – 01.07.2015) - <u>Amendment No. 9</u> (removes reference to the Fairfield Art Strategy as Council has not formally adopted a Public Art Strategy) 	10 May 2016	25 May 2016
Prairiewood Town Centre – Southern Precinct DCP 2013	13 November 2012	31 May 2013
Site Specific DCP – Wetherill Park Market Town	20 March 2013	7 March 2014
Fairfield Heights Town Centre DCP 2018	06 August 2019	05 June 2020
Villawood Town Centre DCP 2020	28 April 2020	05 June 2020

Master Plans

Title	Adopted by Council*	Effective Date
Prairiewood Masterplan (December 2005)	13 November 2012	31 May 2013
Fairfield Town Centre Masterplans – The Crescent and Barbara Street Precincts (May 2007)		May 2007

Urban Design Studies

Title	Adopted by Council
Fairfield City Centre Key Sites Urban Design Study	27 March 2018
Fairfield Heights Town Centre Urban Design Study	27 March 2018
Villawood Town Centre Urban Design Study	27 March 2018

* Note: Some "In Force" Development Control Plans may be under review, check with Council for date of last amendment.

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Flood Information Sheet

Applicant: InfoTrack
Certificate No.: 1055/2023
Applicant's Reference: EC2255-#113737236#
Issue Date: 23/03/2023
Receipt No.:

PROPERTY ADDRESS: 295 Victoria Street WETHERILL PARK NSW
2164
LEGAL DESCRIPTION: Lot: 8 DP: 230076

Council has adopted a policy on flooding which may restrict the development of land. The Fairfield City-Wide Development Control Plan 2013 (which includes provisions for flood management) applies to all of the Fairfield Local Government area.

Important Notes:

Not Applicable values indicate that the subject land is not known to be subject to flooding.

Not Available values indicate that Council does not have the required flood information for the subject land.

A Glossary is also attached at the end of this Flood Information Sheet.

MAINSTREAM FLOODING

Description

Based on the information currently available to Council, this land is not affected by mainstream flooding. However, this is subject to future flood studies and reviews.

Mainstream Flood Details

Size of Flood	Flood Level (m AHD)
PMF minimum	Not Applicable
PMF maximum	Not Applicable
1 in 100 year minimum	Not Applicable
1 in 100 year maximum	Not Applicable
1 in 20 year minimum	Not Applicable
1 in 20 year maximum	Not Applicable

LOCAL OVERLAND FLOODING

Description

Based on the information currently available to Council, this land is not affected by overland flooding. However, this is subject to future flood studies and reviews.

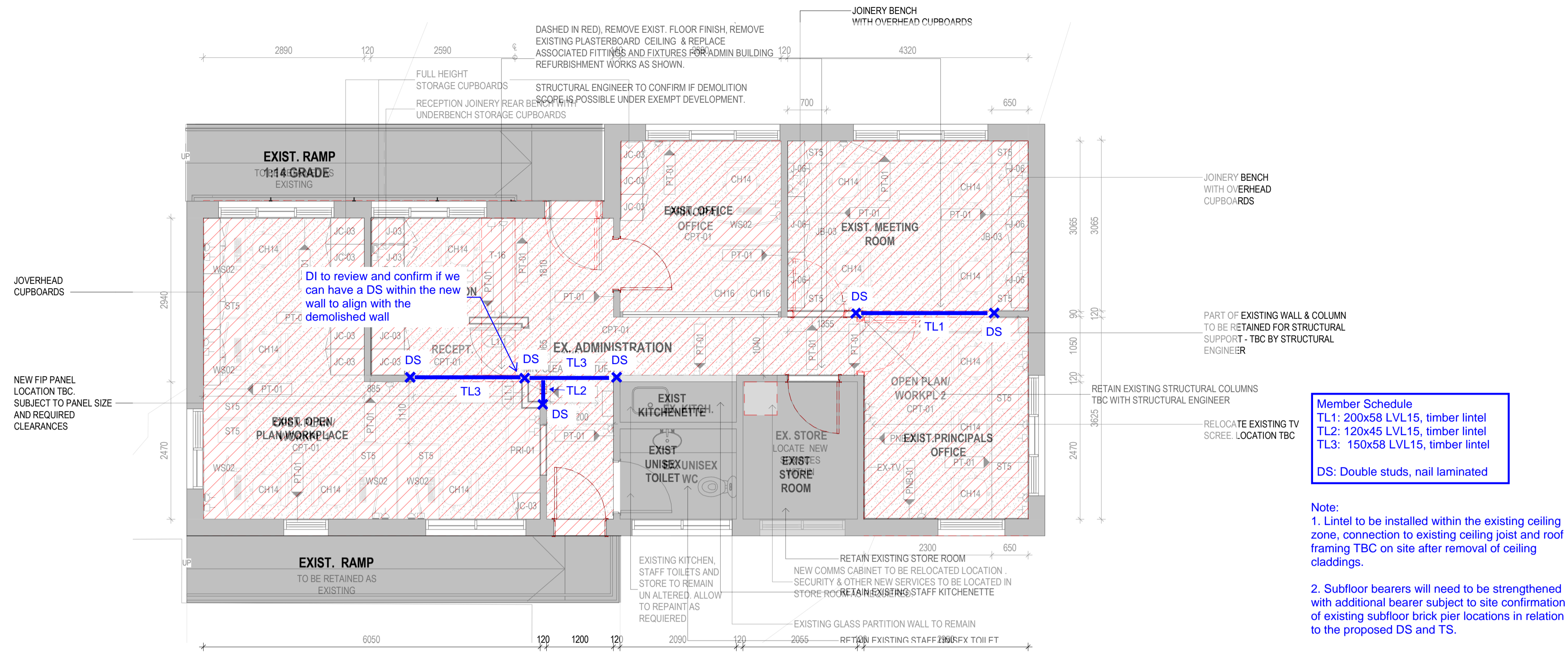
Local Overland Flood Details

Size of Flood	Flood Level (m AHD)
PMF minimum	Not Applicable
PMF maximum	Not Applicable
1 in 100 year minimum	Not Applicable
1 in 100 year maximum	Not Applicable
1 in 20 year minimum	Not Applicable
1 in 20 year maximum	Not Applicable

GLOSSARY	
m AHD	metres Australian Height Datum (AHD).
Australian Height Datum (AHD)	A common national plane of level approximately equivalent to the height above sea level. All flood levels, floor levels and ground levels are normally provided in metres AHD.
Average Recurrence Interval (ARI)	The long term average number of years between the occurrence of a flood as big as the selected event. For example, floods with a discharge as great as the 20 year ARI event will occur on average once every 20 years. ARI is another way of expressing the likelihood of occurrence of a flood event.
Flood	A relatively high stream flow that overtops the natural or artificial banks in any part of a stream, river, estuary, lake or dam. It also includes local overland flooding associated with major drainage before entering a watercourse, or coastal inundation resulting from raised sea levels, or waves overtopping the coastline.
Flood risk precinct	<p>An area of land with similar flood risks and where similar development controls may be applied by a Council to manage the flood risk. The flood risk is determined based on the existing development in the precinct or assuming the precinct is developed with normal residential uses. Usually the floodplain is categorised into three flood risk precincts 'low', 'medium' and 'high', although other classifications can sometimes be used.</p> <p>High Flood Risk: This has been defined as the area of land below the 100-year flood event that is either subject to a high hydraulic hazard or where there are significant evacuation difficulties.</p> <p>Medium Flood Risk: This has been defined as land below the 100-year flood level that is not within a High Flood Risk Precinct. This is land that is not subject to a high hydraulic hazard or where there are no significant evacuation difficulties.</p> <p>Low Flood Risk: This has been defined as all land within the floodplain (i.e. within the extent of the probable maximum flood) but not identified within either a High Flood Risk or a Medium Flood Risk Precinct. The Low Flood Risk Precinct is that area above the 100-year flood event.</p>
Local overland flooding	The inundation of normally dry land by local runoff rather than overbank discharge from a stream, river, estuary, lake or dam.
Mainstream flooding	The inundation of normally dry land occurring when water overflows the natural or artificial banks of a stream, river, estuary, lake or dam.
Probable Maximum Flood (PMF)	The largest flood that could conceivably occur at a particular location.
Flood Planning Area	The area of land below the FPL and thus subject to flood related development controls.
Flood Planning Level	Are the combinations of flood levels (derived from significant historical flood events or floods of specific AEPs) and freeboards selected for floodplain risk management purposes, as determined in management studies and incorporated in management plans.
Flood Control Lot	A lot to which flood related development controls apply in respect of development for the purposes of industrial buildings, commercial premises, dwelling houses, dual occupancies, multi dwelling housing or residential flat

	buildings (other than development for the purposes of group homes or seniors housing)
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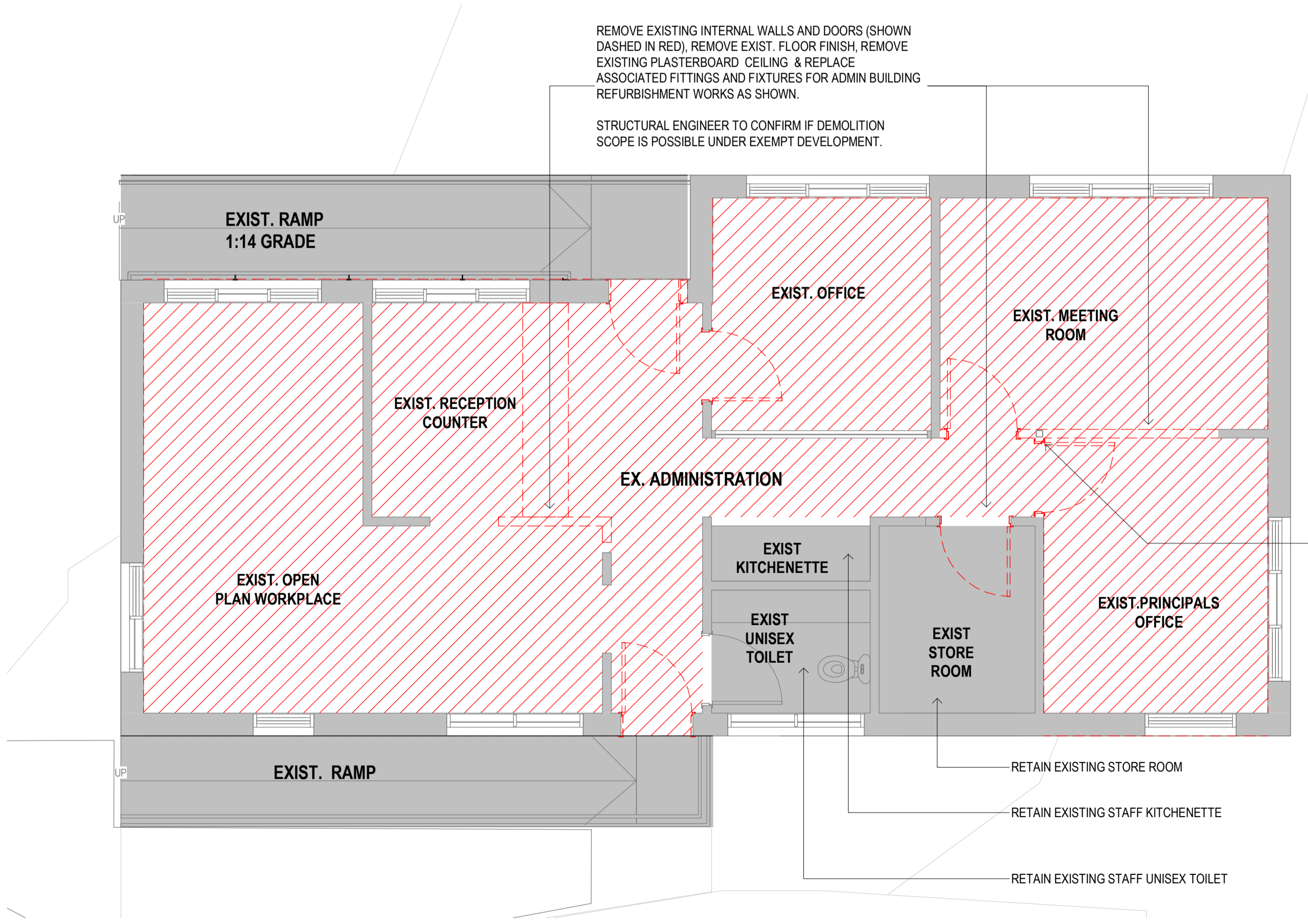
Appendix G – Structural Concept



1 PROPOSED NEW ADMINISTRATION INTERNAL LAYOUT
AR-202 SCALE 1:50

Member Schedule
 TL1: 200x58 LVL15, timber lintel
 TL2: 120x45 LVL15, timber lintel
 TL3: 150x58 LVL15, timber lintel
 DS: Double studs, nail laminated

Note:
 1. Lintel to be installed within the existing ceiling zone, connection to existing ceiling joist and roof framing TBC on site after removal of ceiling claddings.
 2. Subfloor bearers will need to be strengthened with additional bearer subject to site confirmation of existing subfloor brick pier locations in relation to the proposed DS and TS.



2 EXISTING & PROPOSED DEMOLITION ADMINISTRATION BUILDING
AR-301 SCALE 1:50

Adams Level 14, 49 York Street
 Sydney NSW 2000
 t +61 2 9222 9970
 e admin@adamseng.com.au
 w www.adamseng.com.au

Project: Aspect Western Sydney School			
Project Number	Date	By	Scale
230058	13/02/2023	ACE	N.T.S
Sketch Number: Admin alternation coordination markup			

ARCHITECTURE:

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- Figuredimensions govern, do not scale of drawings. Do not scale drawings.
- Any discrepancies should be immediately referred to the Project Manager.
- All work to comply with Federal and State legislation, National Construction Code (NCC), statutory authorities and relevant Australian Standards.
- Refer to general notes sheet & titlesheets for additional disclaimer notes.

No	DATE	REVISIONS	BY
A	27/06/2022	CONCEPT PHASE - PRELIMINARY ISSUE FOR REVIEW	PA
B	19/12/2022	DESIGN DEVELOPMENT	PA
C	30/01/2023	DESIGN DEVELOPMENT	PA

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CLIENT
autism spectrum AUSTRALIA
ASPECT AUTISM SPECTRUM

PROJECT
WESTERN SYDNEY CAMPUS UPGRADE

295 VICTORIA ST, WETHERILL PARK

DETAILS
 DRAWN PA
 CHECKED RF
 APPROVED
 SCALE BAR - 1:50

TITLE
ADMINISTRATION - PLAN - INTERIOR DETAILS

DRAWING NUMBER AR-1005
SCALE 1:50 @ A1